

Contact Officer: Shaunte Farrington
Our Ref: DA/28/2020

26 November 2021

Stockwell Shores Estate Pty Ltd
C/- Callum Scott & Zone Planning Group
PO Box 3144
SOUTH BRISBANE QLD 4101

Dear Sir/Madam

**CHANGED NOTICE OF DECISION
PLANNING ACT 2016 S83**

**DA/28/2020 - MATERIAL CHANGE OF USE - IMPACT
RETIREMENT FACILITY (MANUFACTURED HOUSING ESTATE
– 201 DWELLINGS) (5 STAGES)
13 WATERMARK AVENUE, AGNES WATER QLD 4677
LOT 300 SP 264827**

Reference is made to the above Development Application and the Notice of Decision dated 13 April 2021 and your request for a Change Application dated 13 October 2021.

I wish to advise that the Request to Change application was assessed under Delegated Authority on 23 November 2021 where it was decided to approve the Change. To ensure that these changes are consolidated into your approval, Council has issued the attached Changed Notice of Decision with the changes included.

Should you have any questions or require further clarification in relation to any matters raised in the Decision Notice, please do not hesitate to contact Council's Planning Officer Shaunte Farrington on (07) 4970 0700.

Yours sincerely



H A ROBERTSON
MANAGER DEVELOPMENT SERVICES



CHANGED NOTICE OF DECISION - DA/28/2020
PLANNING ACT 2016 S83

Application:	Material Change of Use - Impact - Retirement Facility (Manufactured Housing Estate – 201 Dwellings) (5 Stages)
Applicant Name & Address:	Stockwell Shores Estate Pty Ltd C/- Callum Scott & Zone Planning Group PO Box 3144 SOUTH BRISBANE QLD 4101
Owner:	Stockwell Shores Estate Pty Ltd
Subject Land:	13 Watermark Avenue, AGNES WATER QLD 4677
Location:	Lot 300 SP 264827
Zoning:	Emerging Community Zone
Site Area:	10.53 hectares
Definition of Use:	Retirement Facility: <i>A residential use of premises for an integrated community and specifically built and designed for older people. The use includes independent living units and may include serviced units where residents require some support with health care and daily living needs. The use may also include a manager's residence and office, food and drink outlet, amenity buildings, communal facilities and accommodation for staff.</i>
Submissions Received:	Seven (7) Properly Made Submissions
Change Application Received:	13 October 2021
Planning Scheme:	<i>Our Place Our Plan Gladstone Regional Council Planning Scheme Version 2</i>

You are advised that your Change Application (minor) was Approved. The conditions relevant to this approval are attached. These conditions are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

1. NATURE OF CHANGES

The nature of the changes are:-

- Condition 1, 13-16, 18, 33, 36, 40, 43, 45 – Amended
- Condition 10 – Deleted

2. BENCHMARKS APPLIED TO THE DEVELOPMENT

The following is a description of the assessment benchmarks applying to the development:

Benchmarks applying to the development:	Benchmark reference:
<i>State Planning Policy July 2017</i>	<ul style="list-style-type: none"> • Water Quality; and • State Interest – Natural Hazards, Risk and Resilience.
<i>Our Place Our Plan Gladstone Regional Council Planning Scheme Version 2</i>	<ul style="list-style-type: none"> • Strategic Framework; • Biodiversity Overlay Code; • Bushfire Hazard Overlay Code; • Steep Land Overlay Code; • Emerging Community Zone Code; • Development Design Code; and • Landscaping Code.

3. CURRENCY PERIOD FOR THE APPROVAL

It is noted that the date the approval takes effect remains in accordance with the original Notice of Decision dated 13 April 2021. This Changed Notice of Decision does not restart the above periods.

4. APPROVED PLANS

The approved plans and/or documents for this development approval are listed in the following table:

Drawing Number	Rev	Description	Author	Date
DA-020	H	Site Plan	CPO Architects	-
DA-021	F	Staging Plan	CPO Architects	-
DA-021A	C	Easement Plan	CPO Architects	-
DA-022	E	Entrance Details	CPO Architects	-
DA-023	C	Parking Details 1	CPO Architects	-
DA-024	C	Parking Details 2	CPO Architects	-
DA-100	A	Livewell Centre	CPO Architects	-
DA-102	A	Livewell Centre – Elevations	CPO Architects	-
DA-103	A	Livewell Centre - Elevations	CPO Architects	-
C-SAW-00C-1	A	Site Plan – Skillion Façade	CPO Architects	22/07/2021
C-SAW-00C-2	A	Floor Plan – Skillion Façade	CPO Architects	22/07/2021
C-SAW-00C-4	A	Elevations – Skillion Façade	CPO Architects	22/07/2021
C-SAW-00C-5	A	Elevations – Skillion Façade	CPO Architects	22/07/2021
C-SAW-00F-1	A	Site Plan – Gable Façade	CPO Architects	24/08/2021
C-SAW-00F-2	A	Floor Plan – Gable Façade	CPO Architects	24/08/2021
C-SAW-00C-4	A	Elevations – Gable Façade	CPO Architects	24/08/2021
C-SAW-00F-5	A	Elevations – Gable Façade	CPO Architects	24/08/2021
C-SAW-00H-1	C	Site Plan – Hip Façade	CPO Architects	27/07/2021
C-SAW-00H-2	C	Floor Plan – Hip Façade	CPO Architects	27/07/2021
C-SAW-00H-4	C	Elevations – Hip Façade	CPO Architects	27/07/2021
C-SAW-00H-5	C	Elevations – Hip Façade	CPO Architects	27/07/2021
C-SAW-00K-1	C	Site Plan – Gable Façade	CPO Architects	03/08/2021
C-SAW-00K-2	C	Floor Plan – Gable Façade	CPO Architects	03/08/2021

C-SAW-00K-4	C	Elevations – Gable Façade	CPO Architects	03/08/2021
C-SAW-00K-5	C	Elevations – Gable Façade	CPO Architects	03/08/2021
C-SAW-00R-1	C	Site Plan – Hip Façade	CPO Architects	30/07/2021
C-SAW-00R-2	C	Floor Plan – Hip Façade	CPO Architects	30/07/2021
C-SAW-00R-4	C	Elevations – Hip Façade	CPO Architects	30/07/2021
C-SAW-00R-5	C	Elevations – Hip Façade	CPO Architects	30/07/2021
C-SAW-00W-1	B	Site Plan – Gable Façade	CPO Architects	02/08/2021
C-SAW-00W-2	B	Floor Plan – Gable Façade	CPO Architects	02/08/2021
C-SAW-00W-4	B	Elevations – Gable Façade	CPO Architects	02/08/2021
C-SAW-00W-5	B	Elevations – Gable Façade	CPO Architects	02/08/2021

5. OTHER NECESSARY DEVELOPMENT PERMITS

Listed below are other development permits that are necessary to allow the development to be carried out:-

1. Operational Works
2. Building Works
3. Plumbing & Drainage Works

6. NOTICE OF REASONS

The following provides the Notice of Reasons under section 83 of the *Planning Act 2016*:

Description of the development:

The approved development is for a Material Change of Use of premises for a Retirement Facility.

Assessment benchmarks:

Benchmarks applying to the development:	Benchmark reference:
<i>State Planning Policy July 2017</i>	<ul style="list-style-type: none"> • Water Quality; and • State Interest – Natural Hazards, Risk and Resilience.
<i>Our Place Our Plan Gladstone Regional Council Planning Scheme Version 2</i>	<ul style="list-style-type: none"> • Strategic Framework; • Biodiversity Overlay Code; • Bushfire Hazard Overlay Code; • Steep Land Overlay Code; • Emerging Community Zone Code; • Development Design Code; and • Landscaping Code.

Reasons for the assessment managers decision:

1. The Application was properly made in accordance with the *Planning Act 2016* and the Development Assessment Rules; and
2. The Application is deemed compliant with the relevant benchmarks of the *State Planning Policy July 2017* and the *Our Place Our Plan Gladstone Regional Council Planning Scheme Version 2*.

Reasons for approval despite any non-compliance with certain benchmarks:

Benchmark reference:	Reasons for the approval despite non-compliance with benchmark:
Biodiversity Overlay Code - Table 8.2.3.3.1 – Assessment Benchmarks	Compliance with Biodiversity Overlay Code – Table 8.2.4.3.1 via endorsed Ecological Assessment Report.
Bushfire Hazard Overlay Code - Table 8.2.4.3.1 – Acceptable Outcome 2.	Compliance with Bushfire Hazard Overlay Code – Table 8.2.4.3.1 – Performance Outcome 2 via a condition.
Bushfire Hazard Overlay Code - Table 8.2.4.3.1 – Acceptable Outcome 3, 4.1 and 4.2.	Compliance with Bushfire Hazard Overlay Code.
Bushfire Hazard Overlay Code - Table 8.2.4.3.1 – Acceptable Outcome 5.1 to 5.3.	Compliance with Bushfire Hazard Overlay Code – Table 8.2.4.3.1 – Acceptable Outcome 5.1 to 5.3 via a condition.
Steep Land Overlay Code – Table 8.2.12.3.1 – Assessment Benchmarks	Compliance with Steep Land Overlay Code – Table 8.2.12.3.1 – via a condition.
Emerging Community Zone Code – 6.2.19.3.1 – Acceptable Outcome 4.1.	Compliance with Emerging Community Zone Code – 6.2.19.3.1 – Performance Outcome 4.
Development Design Code – 9.3.2.3.1 – Acceptable Outcome 1.1 to 3.2.	Compliance with Development Design Code – Table 9.3.2.3.1 – Acceptable Outcome 1.1 to 3.2 via a condition.
Development Design Code – 9.3.2.3.1 – Acceptable Outcome 5.2 and 6.	Compliance with Development Design Code – Table 9.3.2.3.1 – Acceptable Outcome 5.2 and via a condition.
Development Design Code – 9.3.2.3.1 – Acceptable Outcome 8.1 to 8.3.	Compliance with Development Design Code – Table 9.3.2.3.1 – Acceptable Outcome 8.1 to 8.3 10 via a condition.
Development Design Code – 9.3.2.3.1 – Acceptable Outcome 13.	Compliance with Development Design Code – Table 9.3.2.3.1 – Acceptable Outcome 13 via a condition.
Development Design Code – 9.3.2.3.1 – Acceptable Outcome 31.	Compliance with Development Design Code – Table 9.3.2.3.1 – Acceptable Outcome 31 via a condition.
Landscaping Code – 9.3.5.3.1 – Assessment Benchmarks.	Compliance with Landscaping Code – Table 9.3.5.3.1 – via a condition.

Relevant Matters under Section 45(5)(b) of the Act that the Development was Assessed Against:

N/A

Matters raised in Submissions and Council's response in dealing with these matters:

Submission	Officer's Response
The Shores Estate	
The intent of the Shores Estate was for residential lots that had a building covenant on them to ensure minimum development standards were upheld by the purchaser.	The Shores Estate Development Permit was approved to facilitate residential lots complemented by future dwelling houses. The Development Permit did not include a Plan of Development or Code to further restrict Dwelling Houses; this is generally regulated by

	<p>the developer through the sale of the land.</p> <p>Notwithstanding this, the subject site is located within the Emerging Community Zone under the Planning Scheme which seeks to facilitate land for future urban development that is managed in a timely conversion. The planning scheme provides guidance on housing stock, density and ultimately the transition of the land for urban purposes. The proposed development has demonstrated compliance with the planning scheme which will provide further housing mix in the form of a retirement facility (lifestyle resort) and complementary building designs via five themes (each with two varying colour/treatments options).</p>
<p>Vegetation clearing in the balance parcel will destroy the bushland and habitat. How will the impacts of the clearing be handled to reduce nuisance on the residents living next door?</p>	<p>The subject site is located within the Emerging Community Zone which is considered under the Planning Regulation as urban zoned land. As such, the vegetation clearing proposed in conjunction with the conducted environment impact study is considered to comply with the vegetation clearing codes. However, to ensure adequate measures are installed to reduce impacts from clearing, a condition has been recommended that the works are conducted within the subsequent Operational Works permit. This will ensure appropriate hours of operation, sediment control measures and dust separation are considered during the site clearing and earthworks phase.</p>
<p>Access to community and medical facilities</p>	
<p>There are limited medical services in town.</p>	<p>There is an existing approval (DA/53/2017) for a Hospital, Retirement Facility and Reconfiguring of Lot (1 into 2) at Lot 2 SP 117407, Agnes Water. This approval seeks to allow future construction of facilities such as, a Hospital, Health Care Services and Residential Care Facilities. Those future services would offer additional medical facilities for the Agnes Water and Seventeen Seventy area.</p> <p>The provision of services comes with the increase in demand and Council's role is to support the growth in line with the provisions of the planning scheme.</p>
<p>There is a shortage of rentals, which may result in future difficulties for staff.</p>	<p>The planning scheme's structure plan for Agnes Water has included appropriate zoning for commercial, industrial and community development to occur. To date, approvals which may provide further employment diversification for the Urban Centre remain current, awaiting construction. With the increase of permanent residents in the Agnes</p>

	Water area, this may assist in future investment. Notwithstanding this, employment opportunities may arise from the construction and/or ongoing maintenance of this development.
<p>The gated community includes a tennis court/bowls green area and other recreational facilities that will be developed in stage 1. The residents living in this gated community and their visiting guests will have exclusive use of these recreational facilities.</p> <p>Approximately 2.5kms away is the established 1770 Bowls Club Incorporated located along Captain Cook Drive, opposite the Edge on Beaches Resort. Unlike the proposed green, which looks like it would only consist of a few rinks, the 1770 Bowls Club has a full size green (eight rinks) in excellent condition, has retractable shade over the green and facilities (club house) that are well maintained.</p> <p>New members, both new to the game and those who already play, are always welcome to join the club. The club play regularly, conduct tournaments, have club visits, and offer coaching. It is a great place to meet, enjoy other people and participate in an outdoor activity. The club has a presence in the community.</p> <p>Allowing a private bowls green to go ahead would encourage residents of this development to become closed, in that there is no encouragement for them to integrate with the existing community. This would be in conflict with councils five-year Community Development Strategy and Action Plan.</p>	<p>The Applicant has advised that products similar to this nature generally include low scale facilities to increase internal amenities and landscaped areas. It should be noted that the scale and operation of the internal amenities are considered low scale and would not compete with the existing commercial and community facilities within the area, rather the development has the potential to encourage patrons into bowls and the use of the bowls club for access to competition.</p>
Design and siting	
<p>The proposed development is not in line with the average density of 15 per hectare net. The development should consider a minimum 4m wide easement to ensure a setback buffer, boundary fences of minimum 2.4 m high on the southern side to counteract the sloping land (fences must be uniform style and colour for all adjoining southern properties), and plant mature buffer</p>	<p>The Applicant states that the lot sizes are suited for the demographic, namely downsizers and able-bodied travellers, who do not wish to maintain a large landscaped backyards. The proposal has included internal pocket parks and landscaping outside of the residential lots which are maintained by the onsite manager for the residents to enjoy.</p> <p>The recommended conditions regarding</p>

<p>trees at Stage 1 of the development. These are to be planted directly behind the fence on the southern side of the proposed development, to minimise disruption to existing properties and block light and noise pollution.</p>	<p>setbacks, fencing, landscaping and general siting of the development all assist to ensure the development integrates with the approved/emerging residential form within the neighbourhood and advances the residential intent conveyed by the Planning Scheme.</p>
<p>Light disruptions, especially due to the slope of the land to be given greater consideration. The development should consider lighting for night activities associated with the tennis court, bowling green or pool area, as well as other areas such as the caravan storage and parking area.</p>	<p>The Landscaping Intent package has indicated lighting around the proposed community facilities and parking areas. This is to ensure the internal movements within the subject site comply with Crime Prevention Through Environment Design (CPTED). However, to achieve the Australian Standards for outdoor lighting, a condition has been recommended to achieve the AS standard and install the necessary shades on downlit lighting. These design elements will assist in reducing any adverse lighting impacts on the adjoining residents.</p>
<p>The development would have the appearance of an abandoned caravan park.</p>	<p>The staged delivery of the development along with the architectural design themes proposed for the dwellings ensures the development is consistent with the residential nature of the area.</p>
Road Network	
<p>The density of the proposed development will result in an increase in the volume of traffic on both Watermark Avenue and Tavern Road.</p>	<p>The Traffic Impact Assessment prepared by Rytenschild Traffic Engineering notes Watermark Avenue is classified as an Urban Residential Collector Road, in accordance with the Gladstone Planning Scheme. The traffic carrying functions of an Urban Collector Road is 3000 trips per day.</p> <p>As part of the conducted Traffic Impact Assessment, the projected trip generation from the proposed development is in the order of 1600 trips per day. Therefore, the proposed development is in accordance with the expected trips for that road classification as depicted within the Road Hierarchy Policy.</p>
<p>The proposed parking area and washdown facility is located over the watercourse with a setback of less than 1m to the adjoining residents.</p>	<p>The parking facility located off Occhiluppo Circuit does not depict any landscaping buffers similar to the parking area off Watermark Avenue. As such, it is recommended that the Landscaping Plan include a landscape buffer of 4m between parking areas and external site boundaries.</p>
<p>The proposed plan does not include areas for people with boats etc, which is a major recreational activity in the area.</p>	<p>Residents will have the option to store boats in the designated secured RV Parking area as managed by the onsite property managers. Furthermore, residents within the proposed Retirement Facility and within the Agnes Water Urban Centre can consider offsite storage areas within the industrial estate.</p>
Infrastructure and Services	

The water supply at Agnes Water is limited. The proposed density will severely impact on water and sewer services. Will additional upgrades cost the ratepayer?	As part of the Development Application for Operational Works, the Applicant is required to submit for approval a Sewer and Water Master Plan for the entire development, with consideration regarding staging. This technical report will provide additional information regarding the appropriate sizing and location of any connections to Council's networks. Any upgrades as a result of the development will be delivered at the Applicant's expense.
We also request the current 'swale/drain' located behind the properties to remain and not be blocked nor filled.	As per the recommended condition, the Applicant is required to install and maintain the engineer designed swale drains for the purpose of stormwater management within the subject site.

Matters prescribed by a Regulation:

1. The *State Planning Policy – July 2017 – Part E*;
2. The *Central Queensland Regional Plan*; and
3. The *Our Place Our Plan Gladstone Regional Council Planning Scheme Version 2*.

7. REFERRAL AGENCIES

The referral agencies applicable to this application are:-

- Department of State Development, Manufacturing, Infrastructure and Planning – State Assessment Referral Agency
Referral agency response dated 22 October 2020.

8. SUBMISSIONS

There were seven (7) properly made submissions about the application. The name and address of the principal submitter for each properly made submission are as follows:-

Name of principal submitter	Address
Mrs S M Jones	PO Box 505, Agnes Water QLD 4677
Mr P R Jones	PO Box 505, Agnes Water QLD 4677
Mrs F Wintle	139 Bicentennial Drive, Agnes Water QLD 4677
Mr W E Wintle	139 Bicentennial Drive, Agnes Water QLD 4677
Ms J S Bedford	12 Toft Street, Bundaberg QLD 4670
1770 Bowls Club Incorporated C/- Owen Capon	PO Box 263, Agnes Water QLD 4677
Ms M G Morrison	PO Box 269, Agnes Water QLD 4677

9. APPEAL RIGHTS

Schedule 1 of the *Planning Act 2016* details your appeal rights and the appeal rights of any submitters regarding this decision.

10. WHEN THE DEVELOPMENT APPROVAL TAKES EFFECT

This development approval takes effect:-

- From the time the decision notice is given, if there is no submitter and the applicant does not appeal the decision to the court.

OR

- If there is a submitter and the applicant does not appeal the decision, the earlier date of either:
 - When the submitter's appeal ends; or
 - The day the last submitter gives the assessment manager written notice that the submitter will not be appealing the decision.

OR

- Subject to the decision of the court, when the appeal is finally decided, if an appeal is made to the court.

This approval will lapse if:-

- for a material change of use, the first change of use under the approval does not start within the relevant period stated in section 3 of this Notice of Decision;
- for a reconfiguration, a plan for the reconfiguration is not given to the local government within the relevant period stated in section 3 of this Notice of Decision;
- for a development approval other than a material change of use or reconfiguration, the development does not substantially start within the relevant period stated in section 3 of this Notice of Decision.

Should you wish to discuss this matter further, please contact Council's Planning Officer Shaunte Farrington on (07) 4970 0700.

Yours sincerely



H A ROBERTSON
MANAGER DEVELOPMENT SERVICES

Attached: Conditions
Appeal Rights
Approved Plans
Referral Agency Response

ASSESSMENT MANAGER CONDITIONS - DA/28/2020

Approved Documentation

1. Development is to be carried out generally in accordance with the submitted application including the following plans and supporting documentation except where amendments are required to satisfy the conditions of this approval:

Drawing Number	Revision	Description	Author	Date
DA-020	H	Site Plan	CPO Architects	-
DA-021	F	Staging Plan	CPO Architects	-
DA-021A	C	Easement Plan	CPO Architects	-
DA-022	E	Entrance Details	CPO Architects	-
DA-023	C	Parking Details 1	CPO Architects	-
DA-024	C	Parking Details 2	CPO Architects	-
DA-100	A	Livewell Centre	CPO Architects	-
DA-102	A	Livewell Centre – Elevations	CPO Architects	-
DA-103	A	Livewell Centre - Elevations	CPO Architects	-
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C-SAW-00C-2	A	Floor Plan – Skillion Façade	CPO Architects	22/07/2021
C-SAW-00C-4	A	Elevations – Skillion Façade	CPO Architects	22/07/2021
C-SAW-00C-5	A	Elevations – Skillion Façade	CPO Architects	22/07/2021
C-SAW-00F-1	A	Site Plan – Gable Façade	CPO Architects	24/08/2021
C-SAW-00F-2	A	Floor Plan – Gable Façade	CPO Architects	24/08/2021
C-SAW-00C-4	A	Elevations – Gable Façade	CPO Architects	24/08/2021
C-SAW-00F-5	A	Elevations – Gable Façade	CPO Architects	24/08/2021
C-SAW-00H-1	C	Site Plan – Hip Façade	CPO Architects	27/07/2021
C-SAW-00H-2	C	Floor Plan – Hip Façade	CPO Architects	27/07/2021
C-SAW-00H-4	C	Elevations – Hip Façade	CPO Architects	27/07/2021

C-SAW-00H-5	C	Elevations – Hip Façade	CPO Architects	27/07/2021
C-SAW-00K-1	C	Site Plan – Gable Façade	CPO Architects	03/08/2021
C-SAW-00K-2	C	Floor Plan – Gable Façade	CPO Architects	03/08/2021
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C-SAW-00R-4	C	Elevations – Hip Façade	CPO Architects	30/07/2021
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C-SAW-00W-2	B	Floor Plan – Gable Façade	CPO Architects	02/08/2021
C-SAW-00W-4	B	Elevations – Gable Façade	CPO Architects	02/08/2021
C-SAW-00W-5	B	Elevations – Gable Façade	CPO Architects	02/08/2021

And supporting documents

Document Number	Revision	Description	Author	Date
PEG0467_L002	10	Engineering Services Report	Pinnacle Engineering Group	November 2020
20110	2	Traffic Impact Assessment	Rytenschild Traffic Engineering	18/11/2020
Z20156	-	Waste Management Plan	Zone Planning Group	12/11/2020
PEG0467	10	Site Based Stormwater Management Plan	Pinnacle Engineering Group	18/11/2020
-	-	Landscape Intent Package	Green Synthesis Design	-
-	-	Economic Need Assessment	Foresight Partners Pty Ltd	17/11/2020
-	-	Response to GRC Approval Conditions	Access Traffic Consulting	6/10/2021

Special Conditions

- At all times, the Retirement Facility must not exceed the development yield of 201 sites.

3. Prior to lodging the first Operational Works to Council, the Applicant must amend the Site Plan to include the following changes:
 - a. Each dwelling site adjoining a Rural Residential Zone must be a minimum of 300m² in area; and
 - b. The proposed rear landscape buffer directly adjoining the Rural Residential Zone is to be increased to 5m off the boundary. The relevant dwellings must maintain a minimum offset of 1.5m off the dwelling site boundary in addition to the landscape buffer
 - c. The proposed parking area off Occhiluppo Circuit should include a landscape buffer a minimum of 4m from the adjoining residential common boundary.
4. At all times, the Retirement Facility must operate in accordance with the *Manufactured Homes (Residential Uses) Act 2003*.
5. At all times, strata titling of individual sites will not be permitted.
6. Communal facilities must be accessible for the sole use of the residents and their guests and must be provided in a central location. Construction shall be in accordance with the *Disability Discrimination Act 1992*.
7. Upon commencement of the use, the identified RV parking must remain as ancillary parking for the Retirement Facility residents.

Operational Works

8. A Development Permit for Operational Works must be obtained from Council prior to the commencement of construction of each applicable stage. The Development Application for Operational Works is to include the following:
 - a. Vegetation Clearing;
 - b. Earthworks (including retaining walls) (as applicable);
 - c. Road works (including signage and footpaths) (as applicable);
 - d. Water Infrastructure (Stage 1);
 - e. Sewer Infrastructure (Stage 1);
 - f. Stormwater Management (quantity, quality, flood and drainage control) (as applicable);
 - g. Erosion and Sediment Control (as applicable);
 - h. Construction Management;
 - i. Street lighting, electrical and telecommunications (Stage 1); and
 - j. Landscaping, environmental protection and associated works (as applicable).
9. Development Applications for Operational Works shall be designed and constructed in accordance with Australian Standards, the Engineering Design Planning Scheme Policy under the *Our Place Our Plan Gladstone Regional Council Planning Scheme* or any other applicable standards at the time of lodgement. Prior to the commencement of the use, all Operational Works conditioned by this approval must be accepted "on maintenance" by Council.

Advisory Note: The Capricorn Municipal Development Guidelines within the Engineering Design Planning Scheme Policy is the current document for preparing any Development Application for Operational Works which is found at <http://www.cmdg.com.au/index.htm>.

Bushfire Hazard

10. Deleted.

11. As part of the first Development Application for Operational Works, the Applicant must ensure adequate firefighting protection is available from the onsite firefighting equipment for the proposed development at each stage. The firefighting strategy for the entire development must be designed and approved by a hydraulic engineer or other suitably qualified person. The strategy must demonstrate each stage is adequately serviced.

Biodiversity

12. As part of any Development Application for Operational Works, the Applicant must implement the Mitigation Measures outlined in the approved Ecological Assessment Report.

Building, Plumbing and Drainage Works

13. **Prior to the commencement of the use of each Retirement Dwelling, the Applicant is required to obtain a Development Permit and Building Final for Building Works in accordance with the *Planning Act 2016*. Construction is to comply with the *Building Act 1975*, the National Construction Code and the requirements of other relevant authorities.**
14. **Prior to the commencement of the use of each Retirement Dwelling, the Applicant is required to obtain a Development Permit for Plumbing and Drainage Works and Plumbing and Drainage Final in accordance with the *Planning Act 2016*. Construction is to comply with the *Plumbing and Drainage Act 2018* and the requirements of other relevant authorities.**
15. **Prior to the commencement of the use of each Retirement Dwelling, all plant and equipment (including air conditioners, exhaust fans and the like) are to be housed, screened and located so that these do not cause environmental nuisance or harm to residential uses in the surrounding area.**
16. **Prior to the commencement of the use of each Retirement Dwelling, the development is to incorporate a variety of at least four different textures, colours and designs within the external façade of the building. Details of the proposed colour scheme, materials and finishes for all external areas of the building are to be submitted to Council for approval prior to the issue of a Development Permit for Building Works.**
17. As part of Building Works, all outdoor lighting is to comply with Australian Standard AS4282 – Control of the Obtrusive Effects of Outdoor Lighting.
18. **Prior to the commencement of the use of each Retirement Dwelling, all lighting at ground level and associated with illuminating ground level areas must be focused downwards and be provided with hoods, shades or other permanent devices to direct illumination downwards and not allow upward lighting to adversely affect the residential uses on this site and the adjoining sites.**
19. As part of any Building Works, the location of the proposed buildings shall comply with Council Policy P-2015/36 Building Over or Adjacent to Council Infrastructure.

20. As part of any Building Works, where a habitable room window is within 9m of another habitable room window or private open space of another Dwelling adjacent to the premises:
- a. Windows are provided with fixed translucent glazing, such as frosted or textured glazing, for any part of the window less than 1.5m above floor level; or
 - b. Windows are provided with fixed with permanent external screens that are:
 - i. Solid translucent screens; or
 - ii. Perforated panels or trellises that have a maximum of 50% openings, with a maximum opening dimension of 50mm, and that are permanently fixed and durable; and
 - iii. Offset a minimum of 300mm from the wall of the building.

Water Infrastructure

21. As part of the first Development Application for Operational Works, the Applicant is to provide a Water Master Plan (including modelling) for approval by Council for the entire development site. The assessment shall include a staging assessment to ensure all infrastructure is appropriately sized.
22. As part of the first Development Application for Operational Works, a water service connection is to be provided from Council's water supply infrastructure to the front property boundary (Watermark Avenue). Council's water supply infrastructure is to be extended to the front property boundary. The location and size of the water service (and any associated fire service) is to be determined in consultation with Council.
23. As part of the first Development Application for Operational Works, the proposed development must provide a master meter at the property boundary and sub meters for each dwelling in accordance with the Queensland Plumbing and Drainage Code. Sub-meters must be purchased from Council.

Note: Water meter boxes located within trafficable areas must be raised or lowered to suit the finished surface level and must be provided with heavy duty trafficable lids.

24. As part of the first Development Application for Operational Works, connections to Council's live water reticulation network must be carried out by Council. The cost of these works is to be borne by the Applicant.

Advisory Note: Council's Application for Water Service is found at <http://www.gladstone.qld.gov.au/forms>.

Sewerage Infrastructure

25. As part of the first Development Application for Operational Works, the Applicant is to provide a Sewer Master Plan (including modelling) for the approval by Council for the entire development site prior to the lodgement of the first Development Application for Operational Works. The assessment shall include a staging assessment to ensure all infrastructure is appropriately sized.
26. As part of the first Development Application for Operational Works, the Applicant is to construct a new sewer main from Sewer Manhole 217069 to a new manhole adjacent to the property boundary of Lot 3 SP221743.

27. Prior to the commencement of the use, all sanitary drainage is to drain into a new 1050mm diameter privately owned maintenance hole prior to connecting to Council's sewerage infrastructure. The location and size of the sewer service is to be determined in consultation with Council.
28. Prior to the commencement of the use, connections to Council's live sewerage network must be carried out under the supervision of Council. The cost of these works are to be borne by the Applicant.

Advisory Note: Council's Application for Sewer is found at <http://www.gladstone.qld.gov.au/forms>.

Stormwater Infrastructure

29. Prior to the commencement of the use, all stormwater infrastructure is to be constructed on the site generally in accordance with the approved Site Based Stormwater Management Plan outlined in Condition 1 and any associated Operational Works approval, including quality and quantity infrastructure. The stormwater infrastructure is to be in accordance with the Engineering Design Planning Scheme Policy under the Gladstone Regional Planning Scheme, State Planning Policy and Queensland Urban Drainage Manual.
30. As part of the Development Application for Operational Works for each stage, the retention basins must be constructed at the applicable stages of the development.

Transportation Services

31. Prior to commencement of Stage 1, the Applicant is to dedicate the full Watermark Road Extension (the entire area as described within Easement B on SP 221743) as Road Reserve.
32. Where Watermark Avenue has not already been extended, the Applicant is to extend Watermark Avenue as an 11m wide Residential Collector, within a 22m (minimum) road reserve, 120m (min) to the south of the existing seal and construct an 11m wide Residential Collector, within a 22m (min) road reserve, from the extended portion of Watermark Avenue to an appropriately designed cul-de-sac adjacent to the primary access to the Development, on the alignment shown on the approved drawings. This is to form part of the first Development Application for Operational Works

OR

Where Watermark Avenue has already been extended, the Applicant is to construct an 11m wide Residential Collector, within a 22m (minimum) road reserve, from Watermark Avenue to an appropriately designed cul-de-sac adjacent to the primary access to the Development, on the alignment shown on the approved drawings. This is to form part of the first Development Application for Operational Works.

33. **Prior to the commencement of the use of the relevant stages, the following car parking spaces must be provided in accordance with the approved plans.**
 - a. **Prior to commencement of Stage 1, a minimum of 41 visitor car parking, 34 RV parking and 2 bus spaces are to be constructed on site generally in accordance with the approved plans, including designated disabled car parking spaces. The communal spaces and associated vehicle movement areas are to be constructed, sealed, line marked, provided**

with wheel stops and maintained in accordance with the Engineering Design Planning Scheme Policy under the Our Place Our Plan Gladstone Regional Council Planning Scheme and AS2890.1.

- b. Prior to commencement of Stage 2, a minimum of 5 additional visitor car parking and 18 RV parking spaces are to be constructed on site generally in accordance with the approved plans, including designated disabled car parking spaces. The communal spaces and associated vehicle movement areas are to be constructed, sealed, line marked, provided with wheel stops and maintained in accordance with the Engineering Design Planning Scheme Policy under the Our Place Our Plan Gladstone Regional Council Planning Scheme and AS2890.1.
 - c. Prior to commencement of Stage 4, a minimum of 15 additional visitor car parking and 2 RV parking spaces are to be constructed on site generally in accordance with the approved plans, including designated disabled car parking spaces. The communal spaces and associated vehicle movement areas are to be constructed, sealed, line marked, provided with wheel stops and maintained in accordance with the Engineering Design Planning Scheme Policy under the Our Place Our Plan Gladstone Regional Council Planning Scheme and AS2890.1.
34. Prior to the commencement of the use of Stage 1, a minimum of four (4) bicycle spaces are to be constructed onsite within walking distance to the communal facilities. All bicycle spaces are to be constructed in accordance with AS2890.3 (2015).
35. Prior to the commencement of the use of Stage 1, a 9m wide Type B2 Commercial Driveway is to be constructed in accordance with Council's Standard Drawing Urban Commercial/Industrial Driveway off Watermark Avenue.

Advisory Note: Council's standard drawing is located within the Capricorn Municipal Development Guidelines - Drawings and Specifications at <http://www.cmdg.com.au/index.htm>.

36. Prior to the commencement of the use of Stage 2, a 9m wide Type B2 Commercial Driveway is to be constructed in accordance with Council's Standard Drawing Urban Commercial/Industrial Driveway off Occhilupo Circuit.

Advisory Note: Council's standard drawing is located within the Capricorn Municipal Development Guidelines - Drawings and Specifications at <http://www.cmdg.com.au/index.htm>.

37. Prior to the commencement of the use, any damage to the driveway crossing and kerb and channel shall be repaired at the owner's expense and to Council's Standard Drawing Urban Commercial/Industrial Driveway.

Advisory Note: Council's standard drawing is located within the Capricorn Municipal Development Guidelines - Drawings and Specifications at <http://www.cmdg.com.au/index.htm>.

38. Prior to the commencement of the use for each stage, all grassed footpath areas disturbed by the development are to be top dressed and turfed following completion of construction activity.

39. Prior to the commencement of the use, any manholes located on the proposed driveway are to be covered with Class D Covers to AS 3996, and are to be maintained at finished surface levels and remain accessible at all times.
40. **Prior to the commencement of the use of Stage 1, the Applicant must construct a 2 metre wide concrete footpath for the full extent of Watermark Avenue and the new proposed road, from the existing footpath to the front of the development, in accordance with Council's Standard Drawing Concrete Pathway/Bikeway Details.**

Advisory Note: Council's standard drawing is located within the Capricorn Municipal Development Guidelines - Drawings and Specifications at <http://www.cmdg.com.au/index.htm>.

Retaining Walls

41. As part any Development Application for Operational Works, any new retaining walls which are visible from the road reserve, must receive a surface treatment such as rendering or cladding to maintain the visual amenity of the streetscape. The treatments must complement with the proposed colour pallet of the proposed buildings.

Landscaping

42. As part of the first Development Application for Operational Works, a Master Landscaping Plan is to be provided in accordance with Table 9.3.5.3.2 - Plant Species List of the Landscaping Code of the *Our Place Our Plan Gladstone Regional Council Planning Scheme* and the Capricorn Municipal Development Guidelines - Landscaping C273 Construction Specification. The Master Landscaping Plan is to be certified by a Landscape Architect.

Advisory Note: Council's standard drawing is located within the Capricorn Municipal Development Guidelines - Drawings and Specifications at <http://www.cmdg.com.au/index.htm>.

43. **Prior to commencement of the use for each stage, all landscaping areas are to be constructed with an appropriate irrigation system. Details of the irrigation system are to be provided as part of the Master Landscaping Plan. Alternatively, a manual watering plan is to be provided to Council for approval detailing the intended water frequency to maintain landscaping on site.**
44. Prior the commencement of Stage 1, street trees are to be constructed along Watermark Avenue, at a rate of 1 tree per 10m in accordance with Table 9.3.4.3.2 - Plant Species List of the Landscaping Code of the *Our Place Our Plan Gladstone Regional Council Planning Scheme* and the Capricorn Municipal Development Guidelines - Landscaping C273 Construction Specification.

Advisory Note: Council's standard drawing is located within the Capricorn Municipal Development Guidelines - Drawings and Specifications at <http://www.cmdg.com.au/index.htm>.

45. **The Applicant is required to complete the following fencing requirements throughout the entire development and relevant stages:**

- a. **As part of the first Development Application for Operational Works, the Applicant must construct a temporary fence with associated material screening to the full extent of the northern and western boundaries.**
- b. **Prior to the commencement of the use of each stage, the Applicant must install a minimum of 1.8m high acoustic fencing in accordance with the Staging Plan. This acoustic fencing will replace the temporary fencing conducted in (a).**

Waste Management

46. Prior to the commencement of the use of each stage, refuse bins are to be provided in accordance with the approved Waste Management at a rate of:
 - a. Residential Dwellings: 1 x 240L General Waste wheelie bin and 1 x 240L Recyclable Waste wheelie bin per dwelling; and
 - b. Club House: 1 x 1.1m³ General Waste Bulk Bins and 1 x 1.1m³ Recyclable Waste Bulk Bins.
47. Prior to the commencement of the use of each stage, the waste storage area/s at the community facilities are to be sufficient in size to house all waste collection containers including recycling waste containers. The waste storage area/s must be suitably enclosed and imperviously paved, with a hose cock and hose fitted in close proximity to the enclosure to ensure the area can be easily and effectively cleaned.
48. Prior to the commencement of the use of each stage, open storage areas shall be adequately screened so as not to detract from the visual amenity of the area. One way of achieving compliance with this condition is as follows:
 - a. Outdoor storage areas are situated in locations not visible from the street; and
 - b. A 1.8m solid screen fence is located around storage areas.

Electrical, Telecommunication and Gas services

49. As part of any Development Application for Operational Works, all electrical (and telecommunication) conduits are to be installed (including conduits under roads, under concrete pathways and beneath retaining walls etc.) together with the associated infrastructure (including electrical pits, light pole and sub-station footings etc.).
50. Prior to the commencement of Stage 1, a Certificate of Supply shall be provided to demonstrate connection of electricity supply to the subject site.

Advisory Note: The Ergon Energy Rockhampton Office are available on (07) 49311012.

51. Prior to commencement of Stage 1, a Certificate of Supply shall be provided to demonstrate connection of telecommunication supply to the subject site.

Advisory Note: The Telstra Smart Communities Team are available on 1800 226 543.

Survey Plan Endorsement

52. Prior to commencement of Stage 1, the Lodgement of Survey Plan Endorsement must include the following to demonstrate compliance with the relevant conditions of this approval and the subsequent Operational Works:

- a. Completion of Council's Request - Assessment and Endorsement of a Survey Plan Form;
- b. All survey marks in their correct position in accordance with the Survey Plan;
- c. A Compliance Report demonstrating compliance with all associated Development Permit(s);
- d. One copy of the Survey Plan and Easement Documentation, each fully executed for the lodgement with the Titles Office;
- e. Payment of any outstanding rates and charges in accordance with Schedule 18, Item 2(1)(c) of the *Planning Regulation 2017*; and
- f. Payment of any outstanding Adopted Infrastructure Charges.

Advisory Note: Council's Request - Assessment and Endorsement of a Survey Plan Form is found at <http://www.gladstone.qld.gov.au/forms>.

53. The Applicant is to provide at no cost to Council, one copy of the fully executed Easement Documentation (in accordance with Councils Standard Easement Document) subject to the final design and requirements of the Operational Works permit.

Lawful Commencement

54. Prior to the commencement of the use for each stage, the Applicant is to request a Compliance Inspection be undertaken by Council to confirm that all conditions of this Development Permit are considered compliant.
55. Upon receipt of confirmation from Council that the relevant conditions of this staged Development Permit are considered compliant, the Applicant is to notify Council within 20 business days that this approved use has lawfully commenced.

Advice to Applicant:

The Applicant is required to comply with the Acceptable Outcomes within the Emerging Community Zone Code for a Sales Office at all times. If the Sales Office operates outside of the minimum requirements, a Material Change of Use of premises for a Sales Office will be required.

A Food Business License and Design Application may be required in accordance with the *Food Act 2006*. If this license is applicable, it is required to be lodged to Council prior to the commencement of the use and remain current for the life of the Retirement Facility use. Furthermore, a Trade Waste License may be required.

Council provides a certification service for any Building Certification requirements.

A Changed Adopted Infrastructure Charge Notice in relation to the infrastructure charges applicable to this development will be provided separately to accommodate the change in construction of each Retirement Dwelling House per the overall applicable stages.

Schedule 1 Appeals

section 229

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to—
 - (a) the P&E court; or
 - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
 - (a) the refusal, or deemed refusal of a development application, for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (b) a provision of a development approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (d) a development condition if—
 - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and

-
- (ii) the building is, or is proposed to be, not more than 3 storeys; and
 - (iii) the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (h) a decision to give an enforcement notice—
 - (i) in relation to a matter under paragraphs (a) to (g); or
 - (ii) under the *Plumbing and Drainage Act 2018*; or
 - (i) an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - (i) a development approval for which the development application required impact assessment; and
 - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.

- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
 - (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—

storey see the Building Code, part A1.1.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal
<p>1. Development applications</p> <p>For a development application other than an excluded application, an appeal may be made against—</p> <ol style="list-style-type: none"> (a) the refusal of all or part of the development application; or (b) the deemed refusal of the development application; or (c) a provision of the development approval; or (d) if a development permit was applied for—the decision to give a preliminary approval.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency's referral response—the concurrence agency	<p>1 A concurrence agency that is not a co-respondent</p> <p>2 If a chosen assessment manager is the respondent—the prescribed assessment manager</p> <p>3 Any eligible advice agency for the application</p> <p>4 Any eligible submitter for the application</p>
<p>2. Change applications</p> <p>For a change application other than an excluded application, an appeal may be made against—</p> <p>(a) the responsible entity's decision on the change application; or</p> <p>(b) a deemed refusal of the change application.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice</p>	<p>The responsible entity</p>	<p>If an affected entity starts the appeal—the applicant</p>	<p>1 A concurrence agency for the development application</p> <p>2 If a chosen assessment manager is the respondent—the prescribed assessment manager</p> <p>3 A private certifier for the development application</p> <p>4 Any eligible advice agency for the change application</p> <p>5 Any eligible submitter for the change application</p>
<p>3. Extension applications</p> <p>For an extension application other than an extension application called in by the Minister, an appeal may be made against—</p> <p>(a) the assessment manager’s decision on the extension application; or</p> <p>(b) a deemed refusal of the extension application.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application	The assessment manager	If a concurrence agency starts the appeal—the applicant	If a chosen assessment manager is the respondent—the prescribed assessment manager
<p>4. Infrastructure charges notices</p> <p>An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—</p> <p>(a) the notice involved an error relating to—</p> <p style="padding-left: 20px;">(i) the application of the relevant adopted charge; or</p> <p><i>Examples of errors in applying an adopted charge—</i></p> <ul style="list-style-type: none"> • the incorrect application of gross floor area for a non-residential development • applying an incorrect ‘use category’, under a regulation, to the development <p style="padding-left: 20px;">(ii) the working out of extra demand, for section 120; or</p> <p style="padding-left: 20px;">(iii) an offset or refund; or</p> <p>(b) there was no decision about an offset or refund; or</p> <p>(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or</p> <p>(d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
<p>5. Conversion applications</p> <p>An appeal may be made against—</p> <p>(a) the refusal of a conversion application; or</p> <p>(b) a deemed refusal of a conversion application.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
<p>6. Enforcement notices</p> <p>An appeal may be made against the decision to give an enforcement notice.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government

Table 2 Appeals to the P&E Court only			
<p>1. Appeals from tribunal</p> <p>An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of—</p> <p>(a) an error or mistake in law on the part of the tribunal; or</p> <p>(b) jurisdictional error.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—
<p>2. Eligible submitter appeals</p> <p>For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to—</p> <p>(a) any part of the development application or change application that required impact assessment; or</p> <p>(b) a variation request.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>

Table 2 Appeals to the P&E Court only			
<p>3. Eligible submitter and eligible advice agency appeals</p> <p>For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—</p> <p>(a) any part of the development application or change application that required impact assessment; or</p> <p>(b) a variation request.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p> <p>3 An eligible advice agency for the development application or change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>4. Compensation claims</p> <p>An appeal may be made against—</p> <p>(a) a decision under section 32 about a compensation claim; or</p> <p>(b) a decision under section 265 about a claim for compensation; or</p> <p>(c) a deemed refusal of a claim under paragraph (a) or (b).</p>			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—
<p>5. Registered premises</p> <p>An appeal may be made against a decision of the Minister under chapter 7, part 4.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 A person given a decision notice about the decision</p> <p>2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision</p>	The Minister	—	If an owner or occupier starts the appeal—the owner of the registered premises
<p>6. Local laws</p> <p>An appeal may be made against a decision of a local government, or conditions applied, under a local law about—</p> <p>(a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or</p> <p>(b) the erection of a building or other structure.</p>			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

Table 3 Appeals to a tribunal only			
1. Building advisory agency appeals An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	1 A concurrence agency for the development application related to the approval 2 A private certifier for the development application related to the approval

Table 3 Appeals to a tribunal only			
<p>2. Inspection of building work</p> <p>An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
<p>3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against—</p> <p>(a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or</p> <p>(b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
<p>4. Local government failure to decide application under the Building Act</p> <p>An appeal may be made against a local government’s failure to decide an application under the Building Act within the period required under that Act.</p>			

Table 3 Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The local government to which the application was made	—	—
<p>5. Failure to make a decision about an application or other matter under the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a failure by the Queensland Building and Construction Commission to make a decision, within the period required under that Act, if an information notice about the decision was required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—

1.0 SITE PLANS / 1.00 SITE PLAN

LOT 300 ON SP264827
ROUND HILL ROAD, AGNES WATERS, QLD 4677

SITE DATA

TOTAL SITE AREA 105,319m²
SITE COVER 33,269m² (31.6%)

RECREATION CENTRE 949m²

TOTAL • 105

LOT TYPE A (16m x 19m) 304m²

LOT TYPE B (16m x 20m MIN) MIN 320m²

LOT TYPE C (17m x 19m) 332m²

LOT TYPE D (16m x 19m Site Access) MIN 304m²

LOT TYPE E (16m x 17m) 272m²

LOT TYPE F (16m x 18m) 288m²

LOT TYPE G (14.2m x 19m) 269m²

LOT TYPE H (21.5m x 18m Sales Office) 387m²

LOT TYPE I (15m x 20m MIN) MIN 300m²

LOT TYPE J (15m x 19m) 285m²

LOT TYPE K (18.7 x 17m) 3179m²

LOT TYPE L (18 x 19m) 270m²

TOTAL LOTS - 201

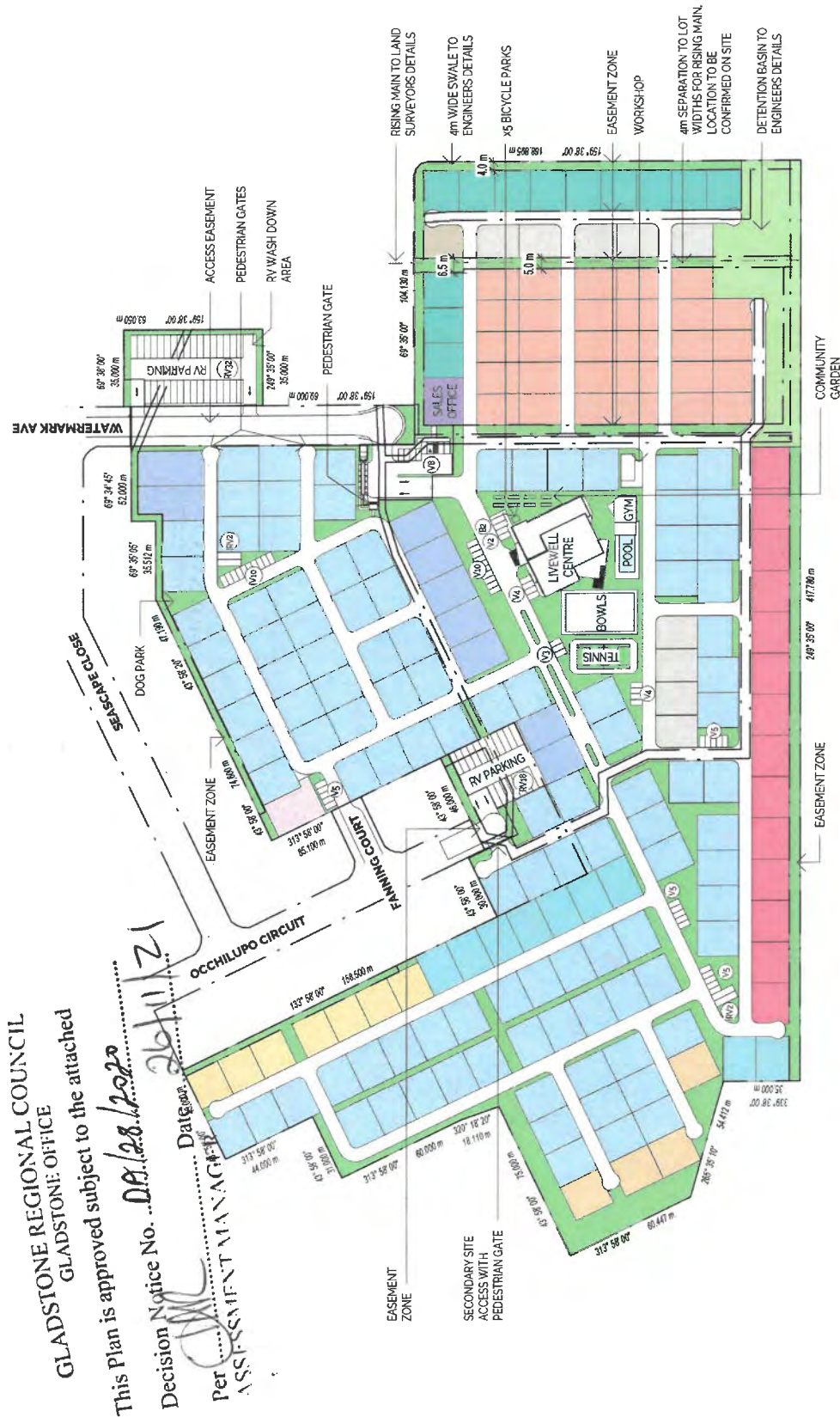
PARKING

PARKING SPACES 201 MIN
CAR RATIO REQUIRED 1 PER SITE

VISITOR PARKING SPACES 61 (INCLUDING 1 PWD) (V)
CAR RATIO REQUIRED 1 PER 10 SITES (21 PARKS)

RV PARKING SPACES 54 (RV)
CAR RATIO REQUIRED 1 PER 4 SITES (31 PARKS)

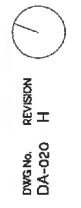
BUS PARKING SPACES 2 (B)



GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE
This Plan is approved subject to the attached
Decision Notice No. DA/28/2022
Date 26/11/21
Per ASSASSINANT MANAGER

1 SITE PLAN
1:2000

RFI ISSUE



DWG No. DA-020 H
JOB No. 20200070
LOT 300 ROUND HILL ROAD, AGNES WATERS, QLD 4677
www.cpaarchitects.com.au | 07 3180 0168

1.0 SITE PLANS / 1.01 STAGING PLAN

LOT 300 on SP264827
ROUND HILL ROAD, AGNES WATER, QLD 4677

STAGING PLAN

STAGE 1	- 38 LOTS & FACILITIES - 41 VISITOR PARKS - 34 RV PARKS - 2 BUS PARKS	STAGE 3	- 38 LOTS
STAGE 2	- 41 LOTS - 5 VISITOR PARKS - 18 RV PARKS	STAGE 4	- 40 LOTS - 15 VISITOR PARKS - 2 RV PARKS
STAGE 5	- 42 LOTS		

TOTAL LOTS = 201
TOTAL VISITOR PARKS = 61
TOTAL RV PARKS = 54



TYPE 01 FENCE | 1.8m HIGH FENCE ON 0.9m HIGH BLOCK WALL FENCE TO BE COMBINATION OF SOLID HORIZONTAL FENCE AND POOL FENCE

2 FENCE TYPE 01

1:150



TYPE 02 FENCE | 1.8m HIGH POOL FENCE

3 FENCE TYPE 02

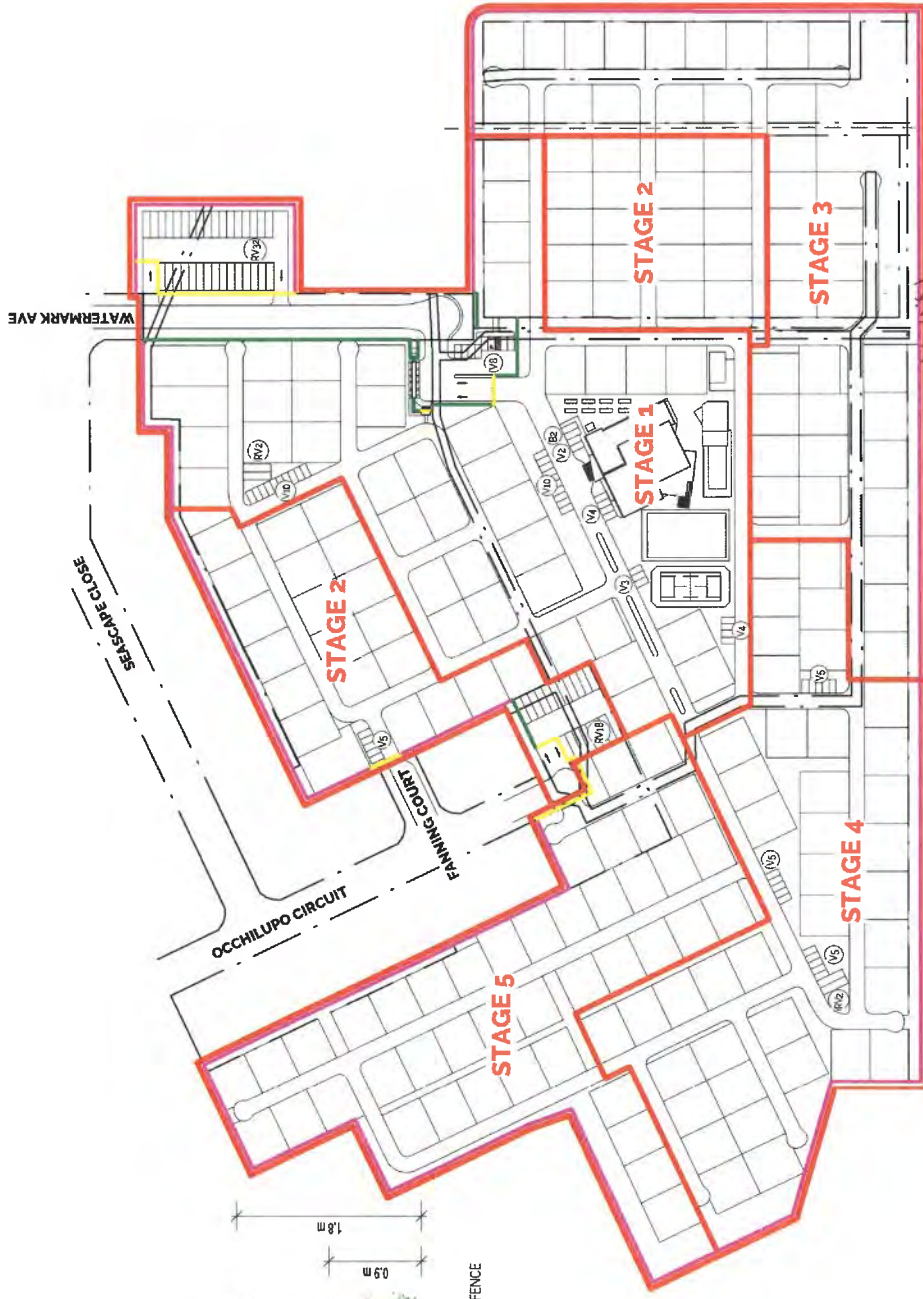
1:150



TYPE 03 FENCE | 1.8m HIGH TIMBER ACOUSTIC LAPPED FENCE

4 FENCE TYPE 03

1:150



Per *[Signature]* Date *26/11/21*
ASSISTANT MANAGER
Decision Notice No. *DA/28/2020*

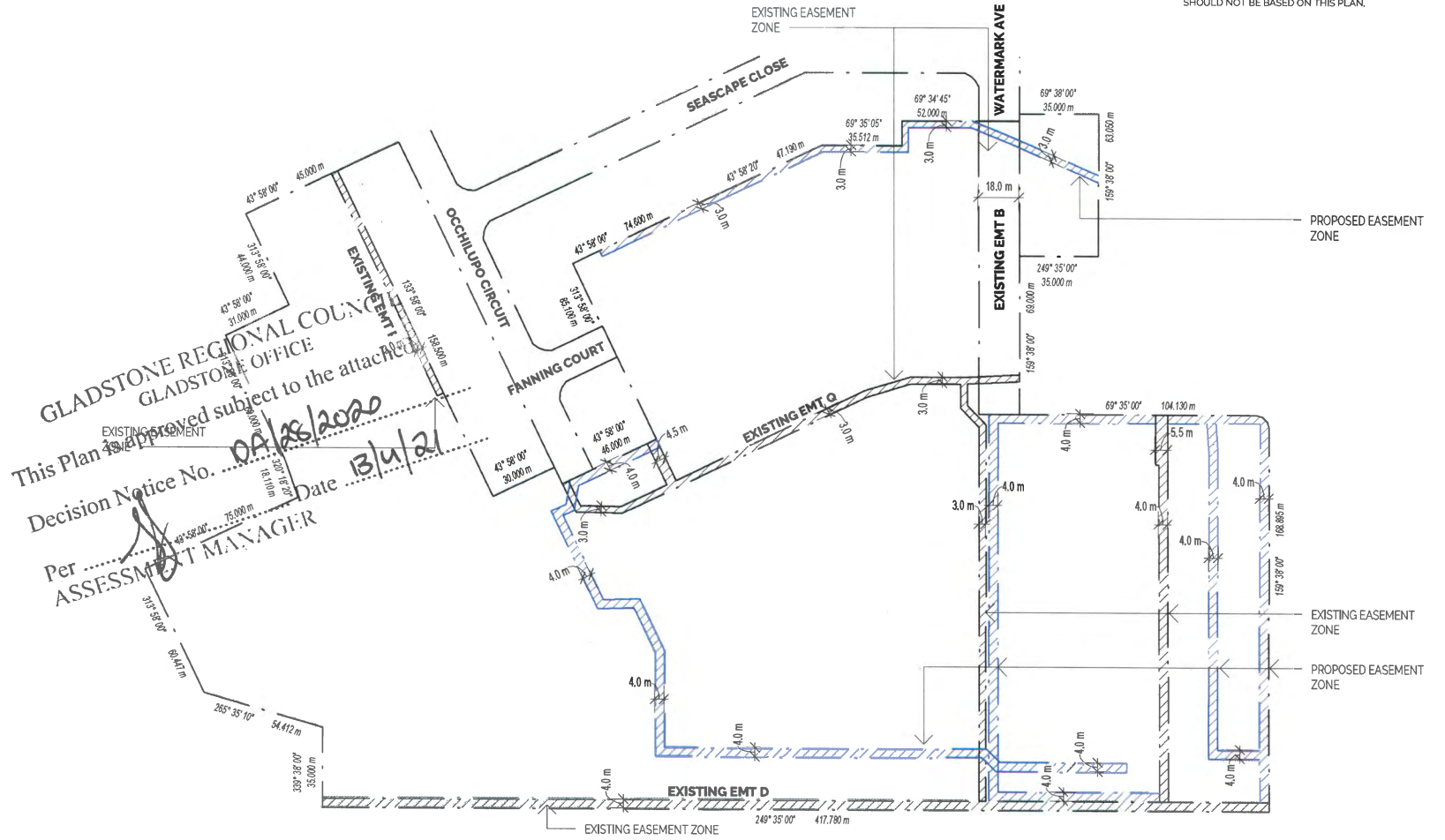
This Plan is approved subject to the attached
Gladstone Regional Council
GLADSTONE OFFICE

1 STAGING PLAN

1:2000

RFI ISSUE

NOTE:
 - SITE EXENTS INDICATIVE ONLY SUBJECT TO DETAILED SURVEY
 - LOCATION OF EXISTING SERVICES, BELOW/ABOVE GROUND TO BE CONFIRMED
 - SETBACKS ILLUSTRATED SUBJECT TO LOCAL COUNCIL REQUIREMENTS
 - LAYOUTS ILLUSTRATED ARE INDICATIVE ONLY, THIS PLAN IS SUBJECT TO FURTHER DETAILED INVESTIGATION BY RELEVANT AUTHORITIES, CONSULTANTS AND SITE PARAMETERS, ANY DEVELOPMENT DECISIONS MADE ON SHOWN SITE SHOULD NOT BE BASED ON THIS PLAN.










GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. **DA/28/2020**
 Per *[Signature]* Date **13/4/21**
 ASSESSMENT MANAGER

1 EASEMENT PLAN
 1:2000

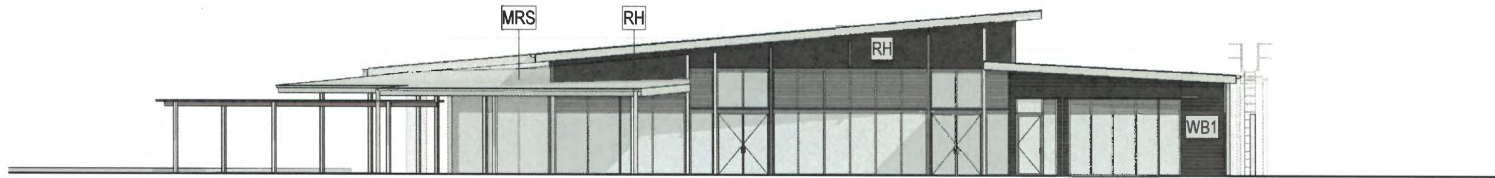


2.0 BUILDING DETAILS / 2.00 LIVEWELL CENTRE

LEGEND

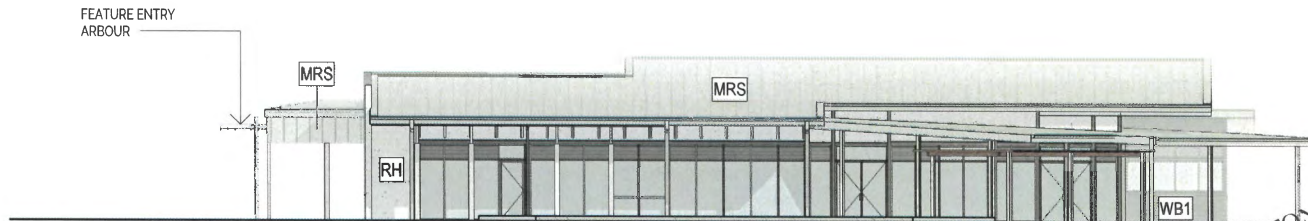
	RH	RENDERED FINISH		WB1	HORIZONTAL CLADDING TYPE 1
	SA1	VERTICAL CLADDING TYPE 1		WB2	HORIZONTAL CLADDING TYPE 2
	SA2	VERTICAL CLADDING TYPE 2		MRS	METAL ROOF SHEETING
	FS	FEATURE STONE	NOTE: ALTERNATIVE FACADE AND EXTERNAL COLOUR SCHEMES TO BE SELECTED BY PURCHASERS		

NOTE:
 - SITE EXENTS INDICATIVE ONLY SUBJECT TO DETAILED SURVEY
 - LOCATION OF EXISTING SERVICES, BELOW/ABOVE GROUND TO BE CONFIRMED
 - LAYOUTS ILLUSTRATED ARE INDICATIVE ONLY. THIS PLAN IS SUBJECT TO FURTHER DETAILED INVESTIGATION BY RELEVANT AUTHORITIES, CONSULTANTS AND SITE PARAMETERS. ANY DEVELOPMENT DECISIONS MADE ON SHOWN SITE SHOULD NOT BE BASED ON THIS PLAN.



C LIVEWELL CENTRE - ELEVATION C

1:200

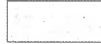
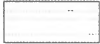







D LIVEWELL CENTRE - ELEVATION D

1:200

GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA/28/2020
 Per [Signature] Date 13/4/21
 ASSESSMENT MANAGER

LEGEND

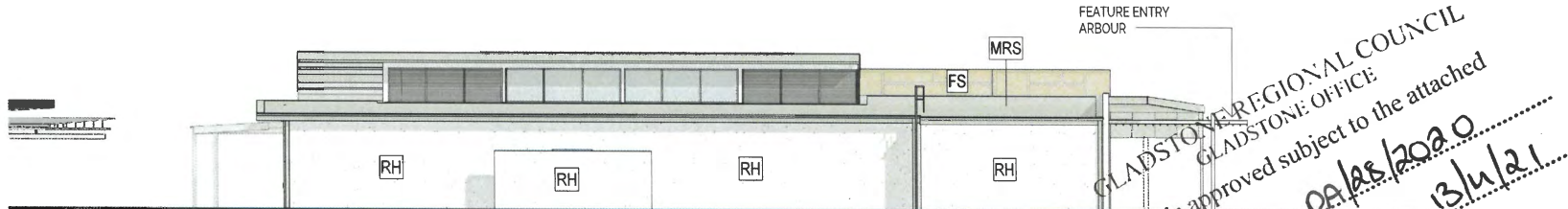
	RH	RENDERED FINISH		WB1	HORIZONTAL CLADDING TYPE 1
	SA1	VERTICAL CLADDING TYPE 1		WB2	HORIZONTAL CLADDING TYPE 2
	SA2	VERTICAL CLADDING TYPE 2		MRS	METAL ROOF SHEETING
	FS	FEATURE STONE	NOTE: ALTERNATIVE FACADE AND EXTERNAL COLOUR SCHEMES TO BE SELECTED BY PURCHASERS		

NOTE:
 - SITE EXENTS INDICATIVE ONLY SUBJECT TO DETAILED SURVEY
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A LIVEWELL CENTRE - ELEVATION A

1:200

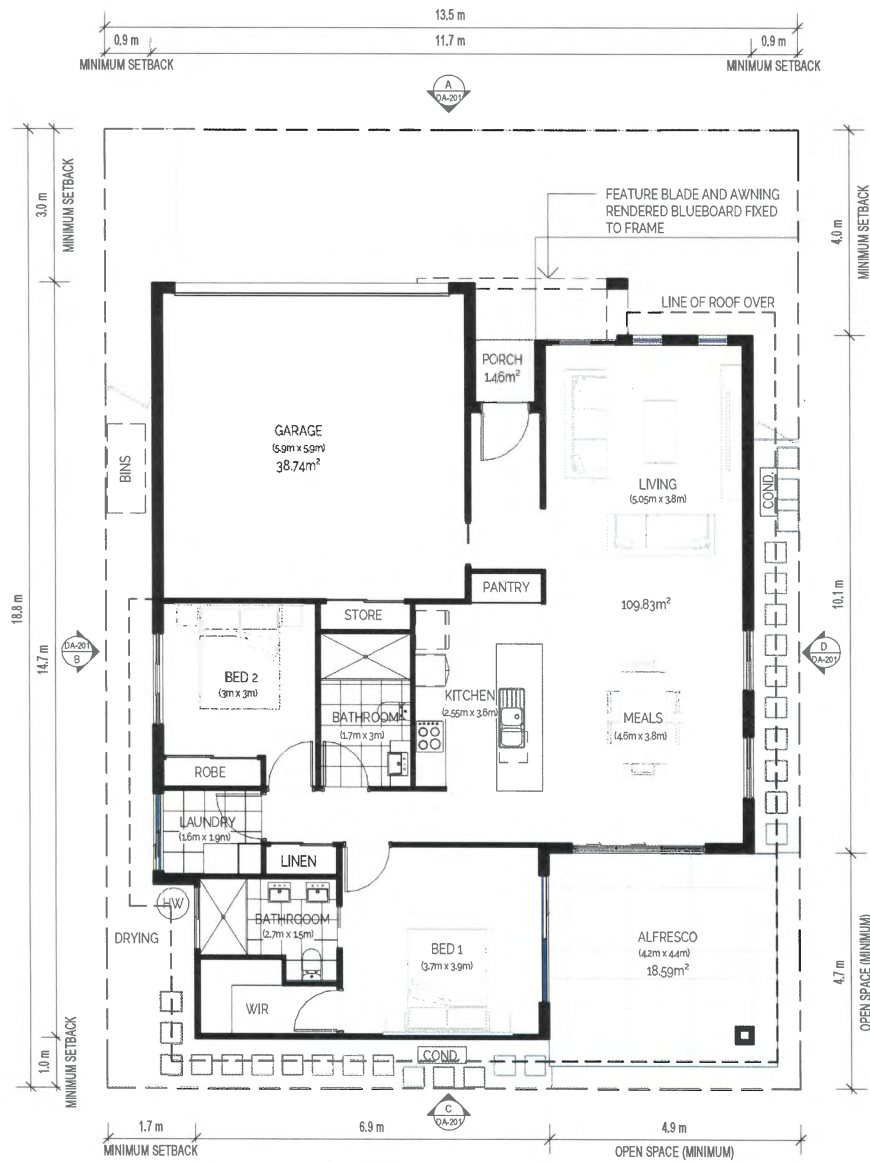


B LIVEWELL CENTRE - ELEVATION B

1:200

GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA/185/2020
 Per [Signature] Date 13/4/21
 ASSESSMENT MANAGER

2.0 BUILDING DETAILS / 2.01 HOUSING TYPES

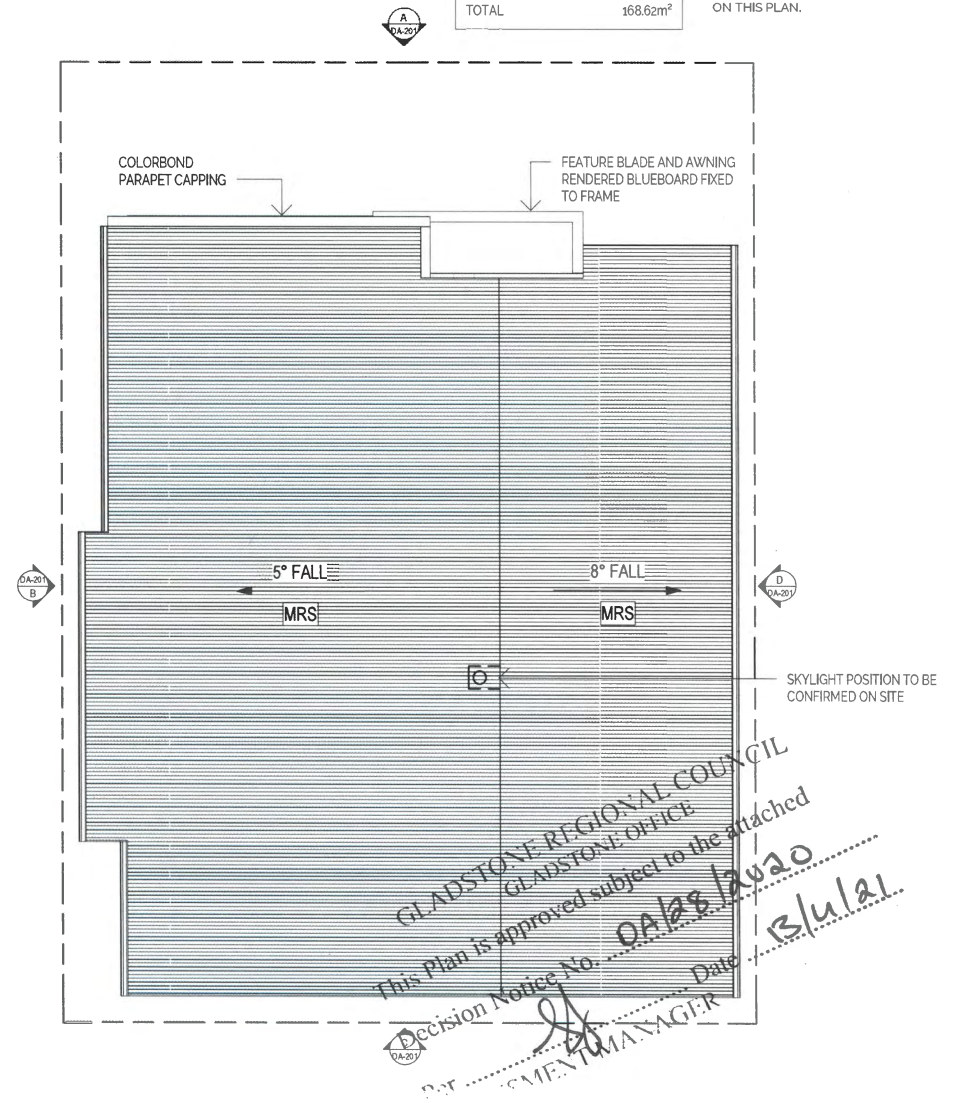


1 FLOOR PLAN - COCKATOO

1:100

2 BED LOT - 253m ²	
(18.75m x 13.5m)	
PORCH	1.46m ²
ALFRESCO	18.59m ²
INTERNAL LIVING	109.83m ²
GARAGE	38.74m ²
TOTAL	168.62m ²

NOTE:
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2 ROOF PLAN - COCKATOO

1:100

GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA 28/2020 Date 13/11/21
 PROJECT MANAGER

1.0 SITE PLANS / 1.02 ENTRANCE DETAILS



NOTE:
 - SITE EXENTS INDICATIVE ONLY SUBJECT TO DETAILED SURVEY
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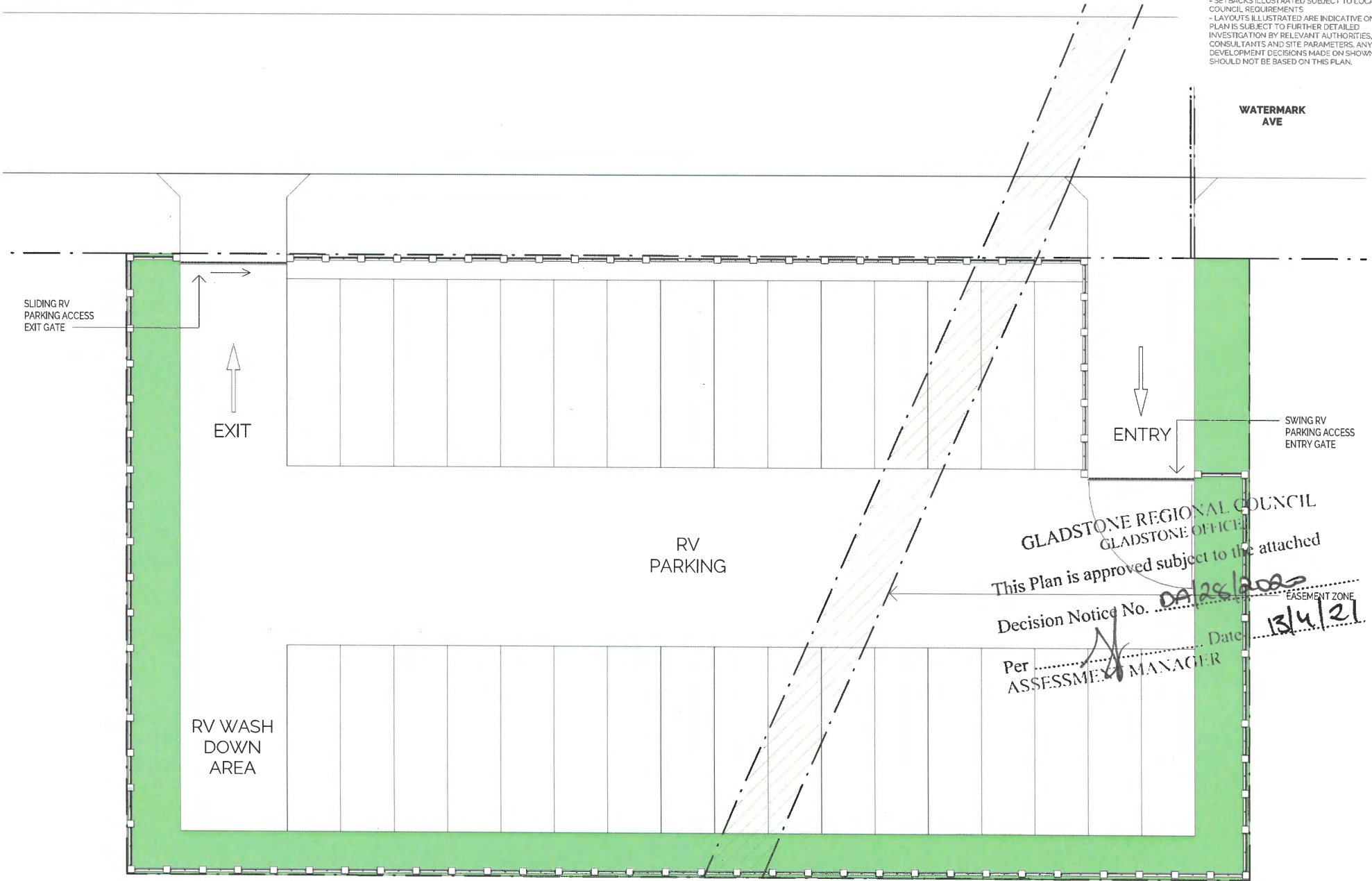
GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA/28/2020
 Per [Signature] Date 13/4/21
 ASSESSMENT MANAGER

1 ENTRANCE DETAIL PLAN

1:200



NOTE:
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GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. *DA 28/2021*
 Per *[Signature]* Date: *13/4/21*
 ASSESSMENT MANAGER



NOTE
 - SITE EXENTS INDICATIVE ONLY SUBJECT TO DETAILED SURVEY
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GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA/28/2020
 Per [Signature] Date 15/4/21
 ASSESSMENT MANAGER

1 RV PARKING DETAIL PLAN 2

1:200





NOTE:
 - SITE EXENTS INDICATIVE ONLY SUBJECT TO DETAILED SURVEY
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GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE

This Plan is approved subject to the attached
 Decision Notice No. DA/25/1020

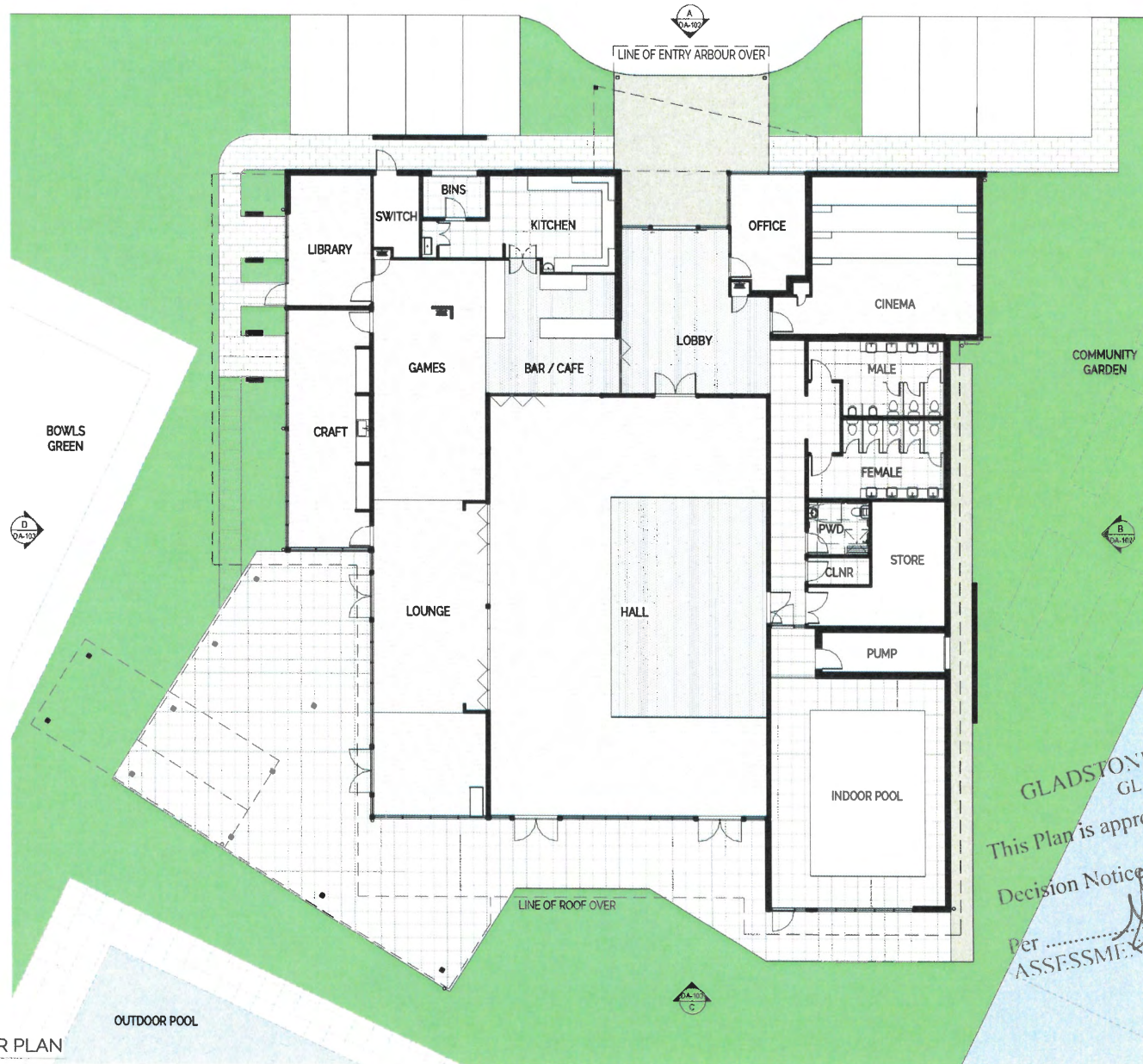
Per *[Signature]* ASSESSMENT MANAGER
 Date 13/11/21

1 ENTRANCE DETAIL PLAN

1:200



NOTE:
 - SITE EXENTS INDICATIVE ONLY SUBJECT TO DETAILED SURVEY
 - LOCATION OF EXISTING SERVICES, BELOW/ABOVE GROUND TO BE CONFIRMED
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1 LIVEWELL CENTRE - FLOOR PLAN
 1:200

GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA/28/2020
 Per [Signature] Date 13/11/21
 ASSESSMENT MANAGER

LEGEND - INTERNAL
 BC - ROOM CURBOARD
 CD - CURBOARD
 DP - DOWNPIPE
 DW - DRAINWASHER PROV.
 HW - HOT WATER SYSTEM
 HS - HOT WATER SYSTEM
 L - LINER
 MH - MANHOLE
 MS - METAL SHEET
 OMC - OVERHEAD CURBOARD
 PTT - PANTRY
 R - ROBE
 R-ROBE
 RH - RANKER WOOD
 SH - SHELF
 TR - TOWEL RAIL
 TRH - TOILET ROLL HOLDER
 W - WOODWORK
 WD - WALL COVER

LEGEND - EXTERNAL
 C - CONTROL JOINT
 FC - FIBRE CEMENT SHEETING
 RH - RENDERED REBEL PANELS
 RB - RENDERED BLUEBOARD
 RL - RENDERED BLOCKWORK
 SA - SCYVA AXON
 SL - SCYVA LINER
 SM - SCYVA MATRIX PANELING
 SW - SWIRL WATER TRAP
 WH - HARDBE BOARDING
 CB - COLORBOND SHEETING

PROPERTY DESCRIPTION
 LOT 8034 : SP 318118
 LOCAL COUNCIL :
 SSCRC
 AREA : 10,724ha

ISSUE	DATE	DETAILS	BY
A	20/02/21	PRELIM DESIGN	PM
B	02/09/21	CHANGES	PM
C	03/09/21	CHANGES	PM

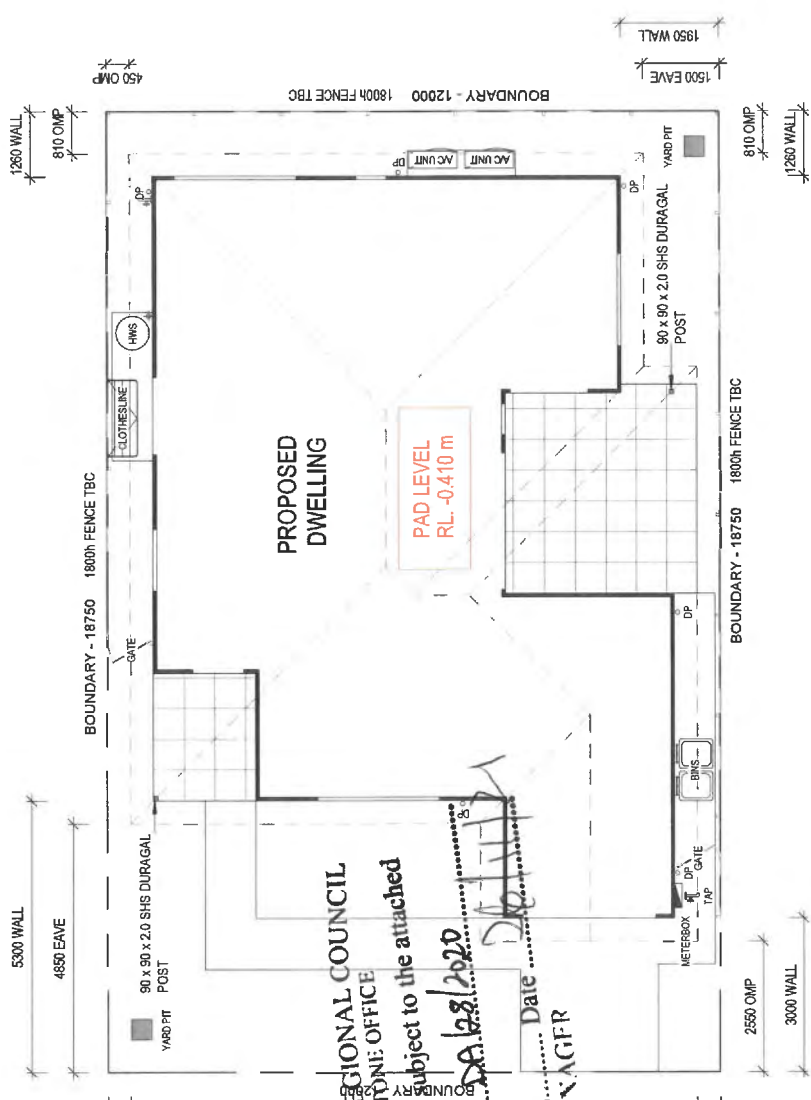
WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE
SITE PLAN - GABLE FACADE

PROJECT DESCRIPTION
 Proposed Dwelling For:

CLIENT:
STOCKWELL
 SITE ADDRESS:
 303, Coohilupo Circuit
 Agnes Water, 4677

DESIGNED BY Designer
 DRAWN BY Architect
 SCALE 1:100
 JOB CODE C-SAW 00K
 SHEET 1-GA OF 5

KOOKABURRA - GABLE FACADE

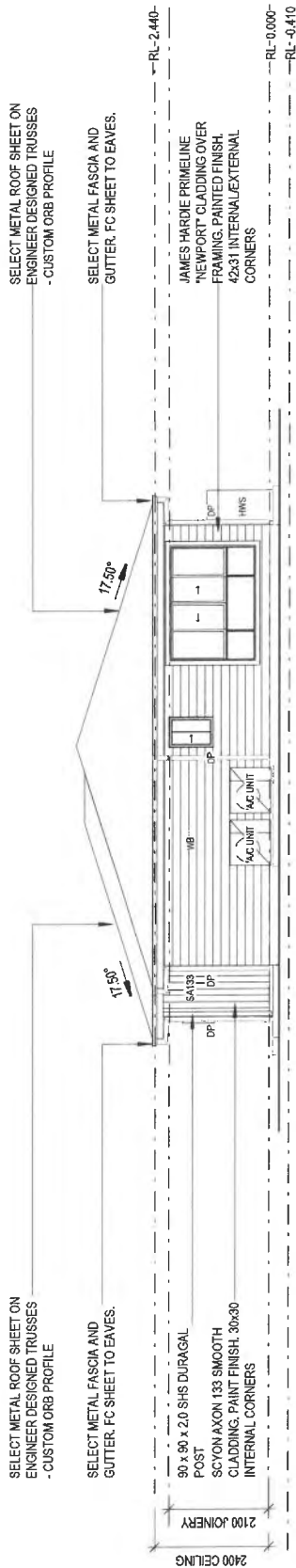


GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA 628/2020
 Date 20/09/2020
 Per [Signature] ASSESSMENT MANAGER

SITE PLAN - GABLE FACADE
 1 : 100

GENERAL NOTES:
 1. ALL MATERIALS SHALL BE NEW, UNLESS SPECIFICALLY NOTED OTHERWISE.
 2. FOUNDATIONS SHALL BE 300mm CONCRETE FOOTINGS ON ANGLE IRON BOLTS AND SINKERS AND EVEN BEARING THROUGHOUT.
 3. SLAB TO ENGINEER DETAILS UNDERLAY WITH 200mm POLYTHENE PROTRUSIONS, CAST ON 50mm SAND BEDDING ON APPROVED FILL.
 4. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS UNLESS SPECIFICALLY NOTED OTHERWISE.
 5. ALL STUD FRAMING ALL FRAMING AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
 6. ALL ROOFING TO BE AS PER BUILDERS SPECIFICATIONS, REGULATIONS, GALVANISED WALL TIES, ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
 7. 90 LUMBER AND DRAINER TO LOCAL AUTHORITY REGULATIONS.
 8. ELECTRICIAN TO LOCAL AUTHORITY REGULATIONS.
 9. GALVANISED WALL TIES, 1 ROW AT 2 COURSES ABOVE FLASHING LINE AND 1 ROW IN THE SECOND LAST BED JOINT FROM TOP OF WALL AND @ 900mm IN BETWEEN ON EACH STUD. 90 LUMBER AND DRAINER TO LOCAL AUTHORITY REGULATIONS.
 10. ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.4. ALL WET AREAS TO BE FINISHED WITH MASSEY WALLS TO 200mm.
 11. BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS.
 12. ALL DIMENSIONS TO BE TAKEN AT ALL TIMES. SETBACK WATER THROUGH E.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

NOTES:
 1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
 2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.



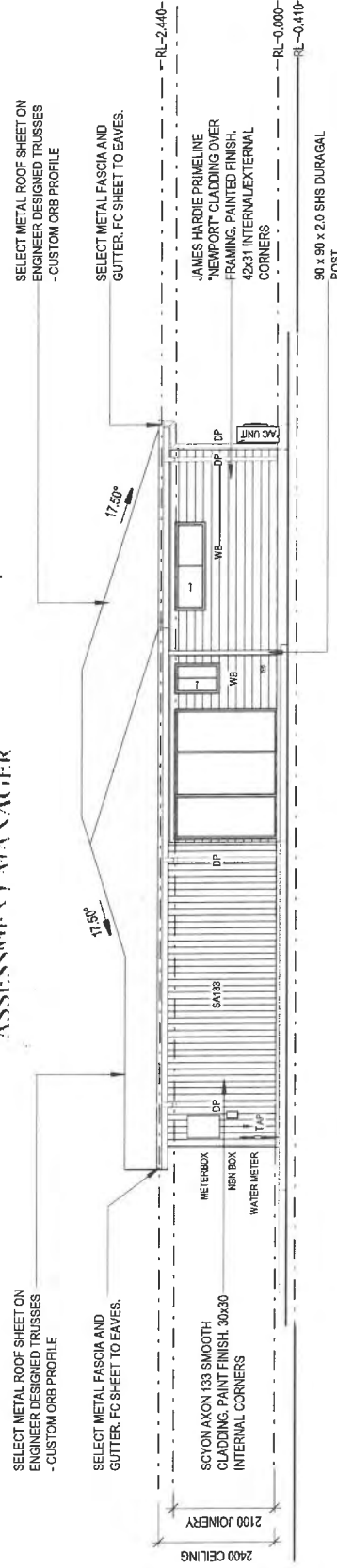
ELEVATION 3

1 : 100

GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. ...DA/28/2020
 Per *[Signature]* Date 26/11/21
 ASSESSMENT MANAGER



ELEVATION 4

1 : 100

LEGEND - INTERNAL

- BC - BROWN CURBOARD
- BP - BRICK PAVING
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- HP - HOT PLATE
- HW - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OC - OVERHEAD CURBOARD
- OT - OUTLET
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- SJ - SINK
- TB - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

LEGEND - EXTERNAL

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- CC - CEILING SHEETINGS
- FC - FASCIA SHEETINGS
- RB - RENDERED BRICKWORK
- RL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SM - SCYON MATRIA PANELING
- SS - SCYON STRIA CLADDING
- WB - HARDIE NEWPORT
- CB - COLORBOND SHEETING

ISSUE	DATE	DETAILS	BY
A	24.06.21	PRELIM DESIGN	PW
B	02.06.21	CHANGES	PW
C	03.06.21	CHANGES	PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS - GABLE FACADE

PROJECT DESCRIPTION:
 Proposed Dwelling For:

CLIENT: **STOCKWELL**

SITE ADDRESS:
 300, Occhitupo Circuit
 Agnes Water, 4677

DESIGNED BY: Design
 DRAWN BY: Author

SCALE: 1:100
 JOB CODE: C-SAW 00K

SHEET 5-CA OF 5

KOOKABURRA - GABLE FACADE

LEGEND - INTERNAL

- BC - BROOM CUPBOARD
- CD - DOWNPIPE
- CP - CUPBOARD
- DM - DOWNPIPE
- FW - FLOOR WASTE
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MA - MASH
- MM - MICROWAVE PROX.
- OC - OVERHEAD CUPBOARD
- PT - PANTRY
- R - ROBE
- RF - REFRIGERATOR SPACE
- RL - RANKER/ROOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- W - WASH TUB
- WG - WALL OVEN

LEGEND - EXTERNAL

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- FR - FIBRE REINFORCED PANELS
- RR - RENDERED BLOCKWORK
- RL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINING PANELING
- SS - SCYON STRIP CLADDING
- WB - HARDIE NEWPORT
- CB - COLORBOND SHEETING

ISSUE	DATE	DETAILS	BY
A	24/06/21	PRELIMINARY	PM
B	02/06/21	CHANGES	PM
C	03/06/21	CHANGES	PM

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS - GABLE FACADE

PROJECT DESCRIPTION:
Proposed Dwelling For:

CLIENT:
STOCKWELL

SITE ADDRESS:
300, Occhilupo Circuit
Agnes Water, 4677

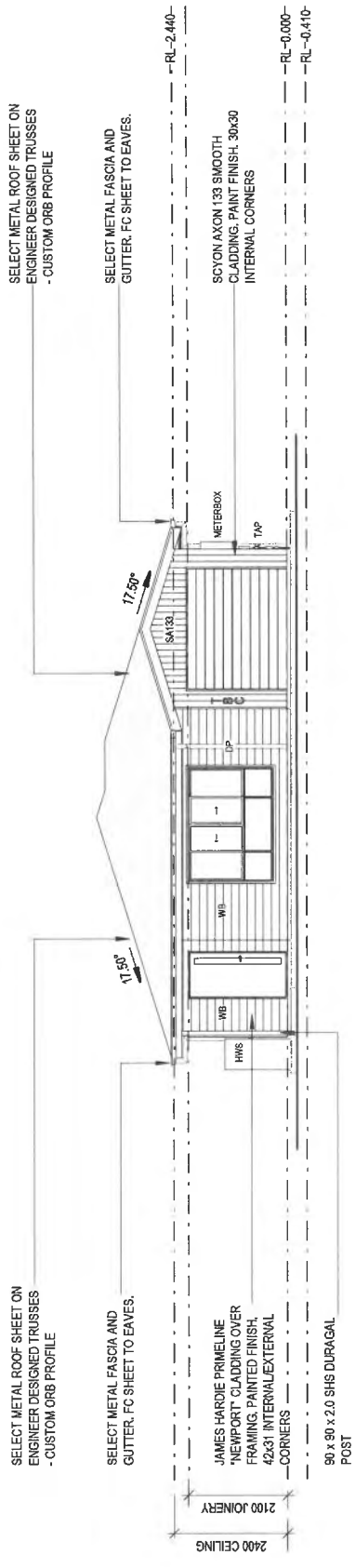
DESIGNED BY: Designer
DRAWN BY: Author

SCALE: 1:100
JOB CODE: C-SAW 00K

SHEET 4-GA OF 5

KOOKABURRA - GABLE FACADE

NOTES:
1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

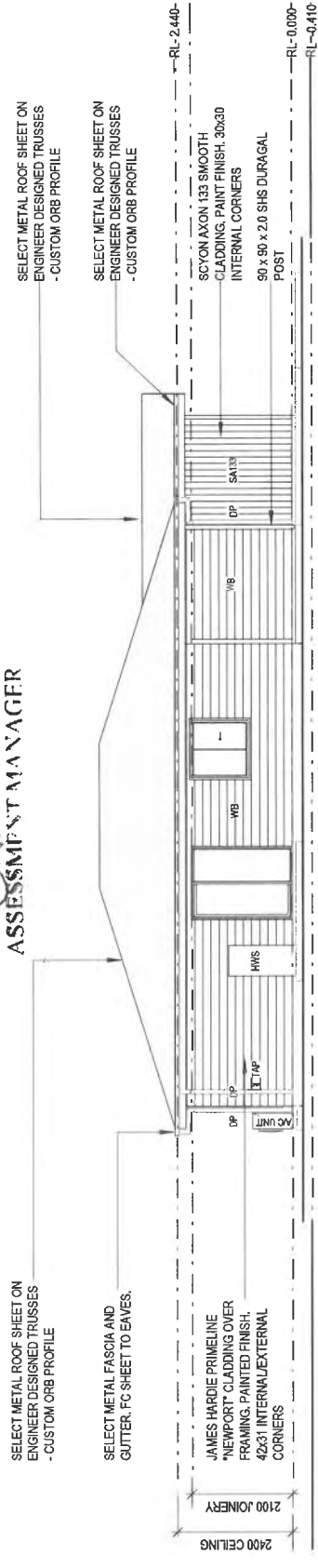


ELEVATION 1
1 : 100

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

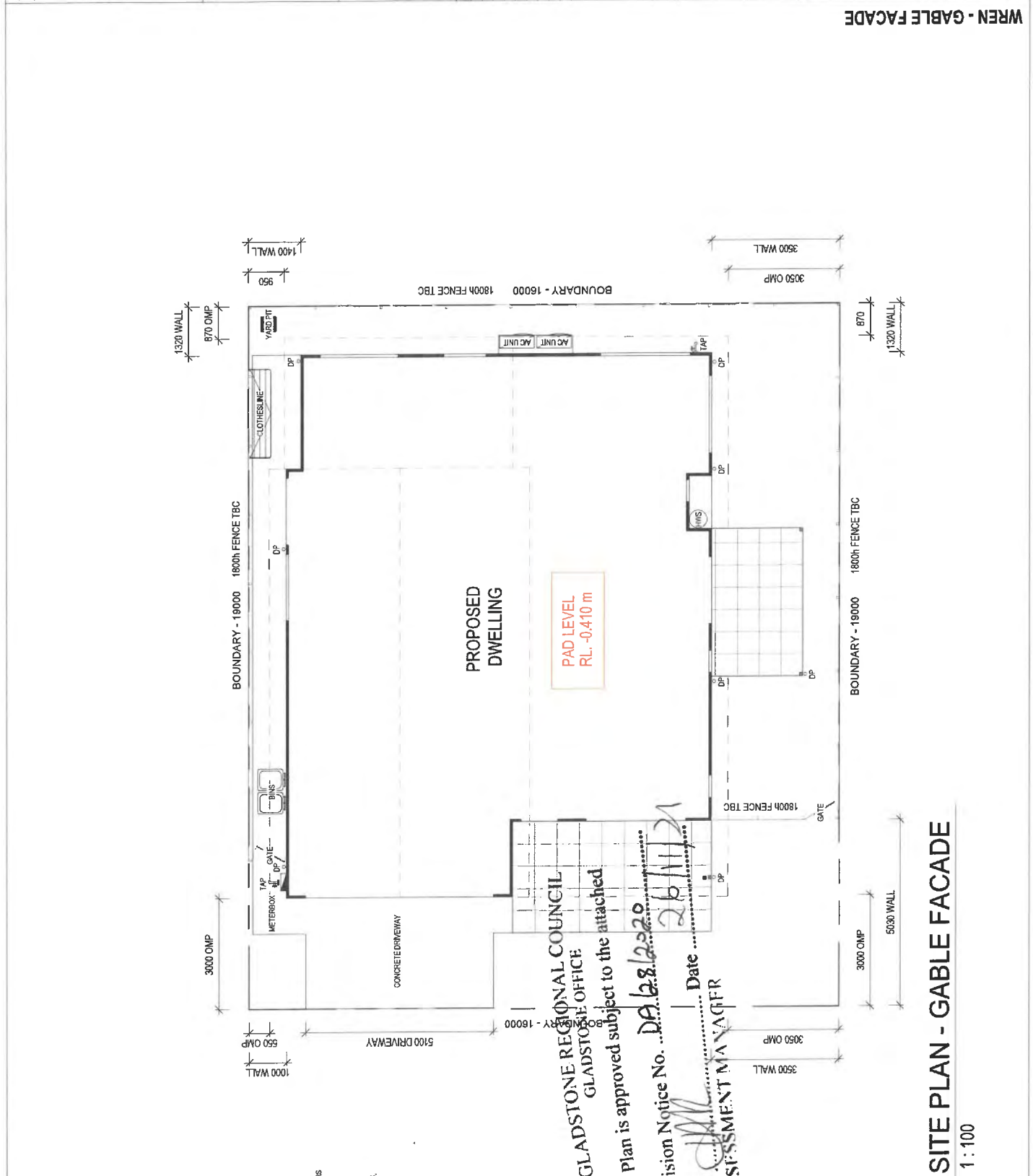
This Plan is approved subject to the attached

Decision Notice No. *DA12812020*
Per *[Signature]* Date *26/11/21*
ASSESSMENT MANAGER



ELEVATION 2
1 : 100

LEGEND - INTERVAL		LEGEND - EXTERNAL		PROPERTY		ISSUE		WRITTEN DIMENSIONS TO FACE		SITE PLAN -		PROJECT DESCRIPTION		CLIENT		DESIGNED BY		SCALE		SHEET																														
BC - BRICK CLIPBOARD	CBD - CLIPBOARD	DP - DOWNPIPE	FW - FLOOR WASTE	HWS - HOT WATER SYSTEM	KL - LINEN KIOSK	MM - MICROWAVE PROV.	OC - OVERHEAD CLIPBOARD	PT - PANTRY	REF - REFRIGERATOR SPACE	RH - RANGEROOD	SH - SHELF	TR - TOWEL RAIL	UBO - UNDERBENCH OVEN	WO - WALL OVEN	BY - BRICK VENEER	C-J - CONTROL JOINT	FC - FIBRE CEMENT SHEETING	RH - RENDERED REBEL PANELS	RB - RENDERED BRICKWORK	RBL - RENDERED BLOCKWORK	SA - SCYON AXON	SL - SCYON LINEA	SS - SCYON STRIA CLADDING	WB - HARDIES NEWPORT	CB - COLORBOND SHEETING	1	DATE	DETAILS	BY	2	DATE	PRELIM	BY	3	DATE	CHANGES	BY	PROJECT ADDRESS	300, Occhipito Circuit	Agnes Water, 4677	DESIGNED BY	Designer	DRAWN BY	Author	SCALE	1:100	JOB CODE	C-SAW-00W	SHEET	1-GA OF 5
<p>PROPERTY DESCRIPTION: LOT: 8034 LOCAL COUNCIL: AREA: 10,724ha</p>																																																		



GENERAL NOTES:

1. ALL MATERIALS SHALL BE NEW
2. FOOTINGS TO ENGINEER DETAILS.
3. ALL ROOFING TO BE DONE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
4. STUD FRAMING ALL FINISHES AS PER BUILDERS SPECIFICATIONS.
5. LINKS: AS PER BUILDERS SPECIFICATIONS.
6. ROOFING COLORBOND METAL SHEET.
7. PLUMBER AND DRAINER TO LOCAL AUTHORITY REGULATIONS.
8. BRICKLAYER GALVANISED METAL TIES 1 ROW AT 2 COURSES ABOVE FLASHING LINE AND 1 ROW IN THE SECOND LAST COURSE.
9. PROVIDE WEEP HOLER @ 800mm ALONG FLASHING.
10. ALL WET AREA FLOORS AND SHOWER FLOORS TO BE CONCRETE ON COMPACTED SAND AND GRAVEL.
11. SPACING OF ARTICULATION JOINTS FOR MASONRY WALLS TO AS 3700 - 2001.
12. BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS TO FACE BEFORE STARTING WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached
 Decision Notice No. DA 28/2020
 Date 26/11/21

Per [Signature] Date
ASSESSMENT MANAGER

NOTES : 1. PROVIDE LIFT OFF HINGES TO W.C. DOORS
 2. SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH INCC. 3.7.2.

3. REFER ELECTRICAL PLAN FOR PLACEMENT OF LOCAL AUTHORITY PLUMBING REGULATIONS & STEEL FRAME WALLS AND TRUSSES IN ACCORDANCE WITH AS 3923.2. DESIGN IN ACCORDANCE WITH AS 3923.2. DOMESTIC METAL FRAMING CLASSIFICATION ACCORDANCE WITH MANUFACTURERS ONLY. FINAL POSITIONS TO BE DETERMINED BY

DESIGN AND SPECIFICATION. DESIGN AND ENGINEERING TO BE PROVIDED TO CERTIFIER PRIOR TO INSTALL.

LEGEND - INTERNAL

- BC- BRICK CLIPBOARD
- CD- CLIPBOARD
- DP- DOWNPIPE
- EW- FLOOR WASTE
- FP- HOT PLATE
- HWS- HOT WATER SYSTEM
- L- LINEN
- LI- LINEN CLOSE
- MM- MICROWAVE PROV.
- OC- OVERHEAD CLIPBOARD
- PTV- PANTRY
- REF- REFRIGERATOR SPACE
- RH- RANGEHOOD
- SH- SHELF
- TR- TOWEL RAIL
- UBO- UNDERBENCH OVER
- WD- WALL OVEN

LEGEND - EXTERNAL

- BV- BRICK VENEER
- CJ- CONTROL JOINT
- FC- FIBRE CEMENT SHEETING
- FR- RENDERED FIBRE PANELS
- GR- GRASS
- RR- RENDERED BRICKWORK
- RBL- RENDERED BLOCKWORK
- SA- SCYON AXON
- SL- SCYON LINER
- SS- SCYON STRA CLADDING
- WB- HARDIES NEWPORT
- CB- COLORBOND SHEETING

FLOOR AREAS

Living	97.99 m ²
Garage	57.87 m ²
Porch	16.05 m ²
Alfresco	10.80 m ²
Grand total	181.91 m ²

ISSUE # DATE DETAILS BY PW
 A 20/07/21 PRELIM PW
 B 12/08/21 CHANGES PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

FLOOR PLAN- GABLE FACADE

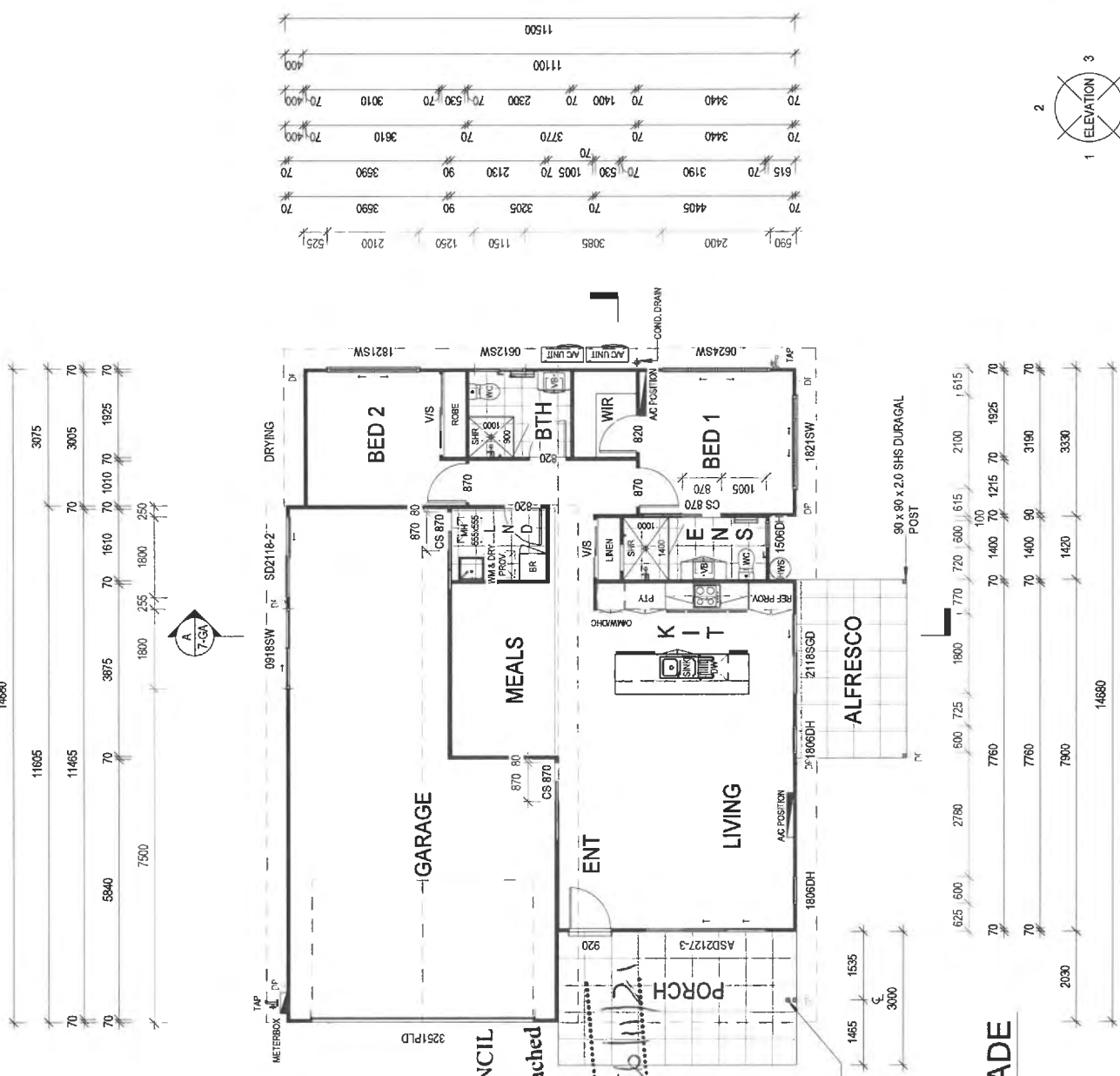
PROJECT DESCRIPTION
 Proposed Dwelling For.

CLIENT:
STOCKWELL

SITE ADDRESS
 300, Occhilupo Circuit
 Agnes Water, 4677

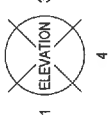
DESIGNED BY Designer
 DRAWN BY Author
 SCALE 1:100
 JOB CODE C-SAW-00W

SHEET 2-GA OF 5



FLOOR PLAN- GABLE FACADE

1 : 100



GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE

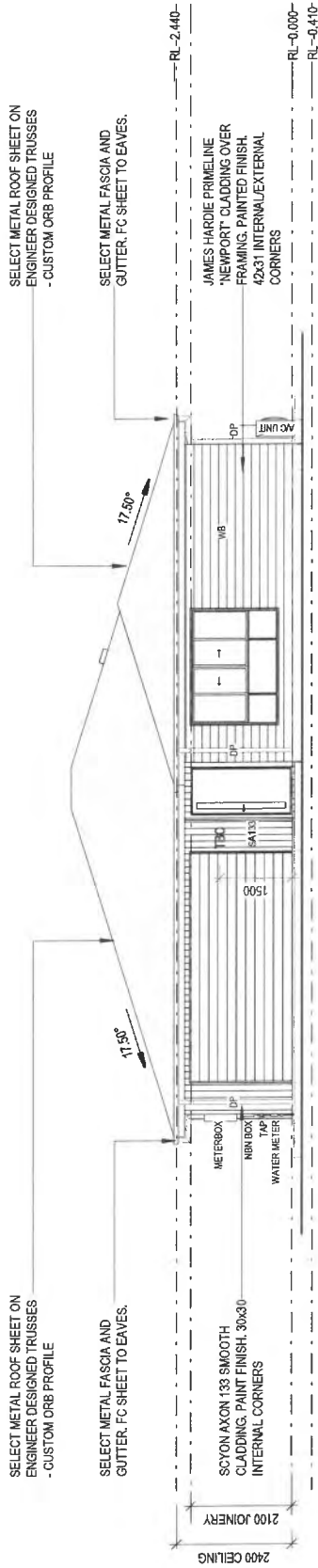
This Plan is approved subject to the attached

Decision Notice No. DA 2.8/2020 Date 26/11/21

Per ASSESSMENT MANAGER

WRN - GABLE FACADE

NOTES:
 1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
 2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.



ELEVATION 1

1 : 100

SELECT METAL ROOF SHEET ON ENGINEER DESIGNED TRUSSES - CUSTOM ORB PROFILE

SELECT METAL FASCIA AND GUTTER, FC SHEET TO EAVES.

SCYON AXON 133 SMOOTH CLADDING, PAINT FINISH, 30x30 INTERNAL CORNERS

2400 CEILING
2100 JOINERY

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. DA 128/2020
 Per [Signature] Date 26/11/20
 ASSESSMENT MANAGER



ELEVATION 2

1 : 100

SELECT METAL ROOF SHEET ON ENGINEER DESIGNED TRUSSES - CUSTOM ORB PROFILE

SELECT METAL FASCIA AND GUTTER, FC SHEET TO EAVES.

JAMES HARDIE PRIMELINE NEWPORT CLADDING OVER FRAMING, PAINTED FINISH, 42x31 INTERNAL/EXTERNAL CORNERS

2400 CEILING
2100 JOINERY

LEGEND - INTERNAL	
BC	BROOM CUTBOARD
CB	CUPBOARD
DM	DRINKING WATER
DW	DRAINWATER PROV.
FW	FLOOR WASTE
HP	HOT PLATE
HWS	HOT WATER SYSTEM
L	LINER
LM	LINEN
MM	MICROWAVE PROV.
OC	OVERHEAD CUPBOARD
PT	PANTRY
RF	ROBE / PROVISION SPACE
RH	RANGE HOOD
SH	SH- SHELF
TR	TOWEL RAIL
UB	TOILET ROLL HOLDER
WC	WATER CLOSURE
WD	WALL OVEN

LEGEND - EXTERNAL	
BV	BRICK VENEER
CJ	CONTROL JOINT
FC	FIRE CEMENT SHEETING
FR	FRIBERED REBEL PANELS
FB	FRIBERED BRICKWORK
FR	FRIBERED BRICKWORK
RBL	REINFORCED BLOCKWORK
SA	SCYON AXON
SL	SCYON LINEA
SS	SCYON STRIA CLADDING
WB	HARDIES NEWPORT
DB	COLORBOND SHEETING

ISSUE	DATE	DETAILS	BY
A	20/02/21	PRELIM	PW
B	03/06/21	CHANGES	PW
C	30/07/21	CHANGES	PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS - HIP FACADE

PROJECT DESCRIPTION
Proposed Dwelling For:

CLIENT:
STOCKWELL
 SITE ADDRESS:
 300, Occhipinti Circuit
 Agnes Water, 4677

DESIGNED BY: Designer
 DRAWN BY: M. KICKGARD

SCALE: 1:100
 JOB CODE: C-SAW-00R

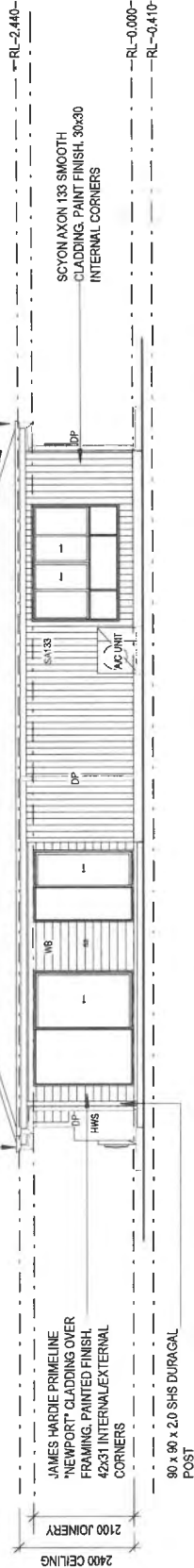
SHEET 4-HI OF 5

ROSELLA - HIP FACADE

NOTES: 1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

SELECT METAL ROOF SHEET ON
ENGINEER DESIGNED TRUSSES
- CUSTOM ORB PROFILE

SELECT METAL FASCIA AND
GUTTER, FC SHEET TO EAVES.



ELEVATION 3

1 : 100

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

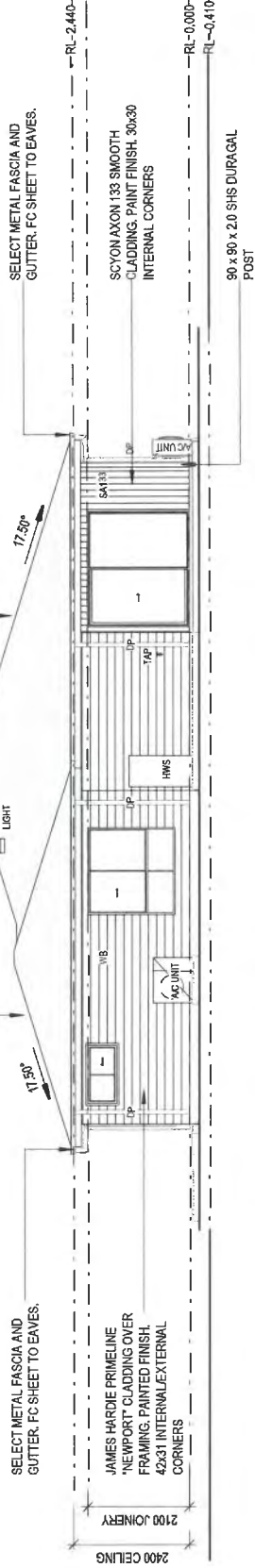
This Plan is approved subject to the attached

Decision Notice No. DA 28220 Date 26/11/21

Pet. [Signature] ASSESSMENT MANAGER

SELECT METAL ROOF SHEET ON
ENGINEER DESIGNED TRUSSES
- CUSTOM ORB PROFILE

SELECT METAL FASCIA AND
GUTTER, FC SHEET TO EAVES.



ELEVATION 4

1 : 100

LEGEND - INTERNAL

- BC - BROOM CUPBOARD
- CD - CUPBOARD
- DA - DISHWASHER
- DA - DISHWASHER PROV.
- DW - FLOOR WASTE
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- LA - LAUNDRY
- MA - MANTLE
- MW - MICROWAVE PROV.
- OH - OVERHEAD CUPBOARD
- PT - PANTRY
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWER UNIT HOLDER
- UB - UNDERBENCH OVEN
- WO - WALL OVEN

LEGEND - EXTERNAL

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- FR - FIBRE REINFORCED PLASTER
- RR - RENDERED BRICKWORK
- RL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIP CLADDING
- WB - HANDLES NEWPORT
- CB - COLORBOND SHEETING

ISSUE	#	DATE	DETAILS	BY
A	24.06.21	PRELIM		PW
B	01.06.21	CHANGES		PW
C	30.07.21	CHANGES		PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS - HIP FACADE

PROJECT DESCRIPTION
Proposed Dwelling For:

CLIENT:



SITE ADDRESS
300, Coochilupo Circuit
Agnes Water, 4677

DESIGNED BY: *Deegan*
DRAWN BY: M. KIRKGAARD
SCALE: 1:100
JOB CODE: C-SAW-00R

SHEET 5-HI OF 5

ROSELLA - HIP FACADE

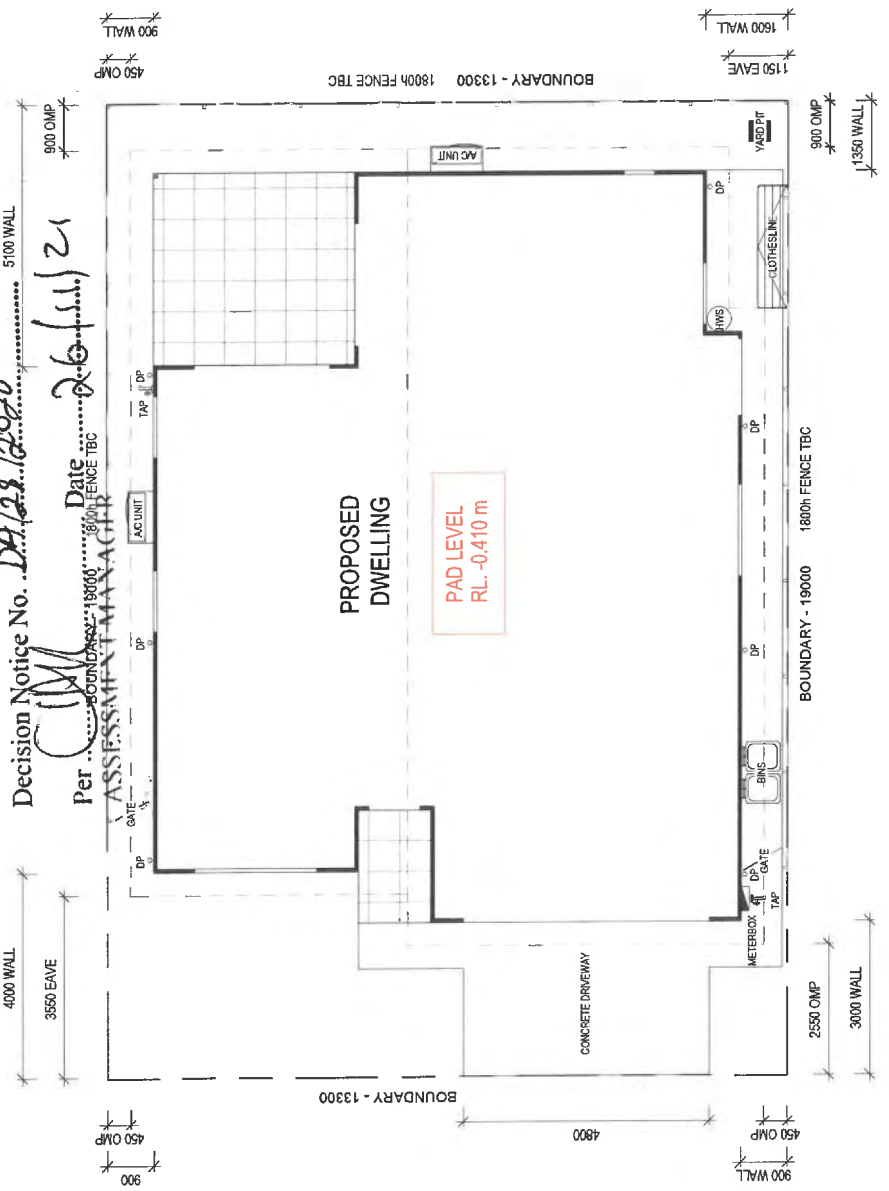
GENERAL NOTES:

1. ALL MATERIALS SHALL BE NEW.
2. FOOTING TO ENGINEER DETAILS.
3. ALL FOUNDATIONS TO BE CONCRETE ON COMPACTED SAND.
4. AND EVEN BEARING THROUGHOUT.
5. ALL CONCRETE TO BE CAST IN PLACE.
6. UNDERLAY WITH 200mm POLYURETHANE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND COURSE.
7. GROUPS OF STUD WALLS TO BE 200mm AT 20 DAYS USE TERNATE CONTROL AS PER BUILDERS SPECIFICATIONS.
8. ALL STUD FRAMING ALL FININGS AS WORKMANSHIP.
9. LINKINGS AS PER BUILDERS SPECIFICATIONS.
10. ROOFING COLORBOND METAL SHEET ROOFING WITH 12.5mm MINIMUM CEILING INSULATION TO LOCAL AUTHORITY AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
11. PLUMBER AND DRAINER TO LOCAL AUTHORITY REGULATIONS.
12. ALL LIGHT AREAS, WINDOWS AND SHOWER FLOORS TO BE CONCRETE ON COMPACTED SAND.
13. SPACING OF ARTICULATION JOINTS FOR MASONRY WALLS TO AS 3700-2001.
14. BUILDER TO CHECK AND CONFIRM ALL CONSTRUCTION WITH LOCAL AUTHORITY.
15. CONSTRUCTION TO NOT SCALE DRAWINGS.
16. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
17. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE**

**This Plan is approved subject to the attached
Decision Notice No. DA/22/12020**

Per *[Signature]* Date **26/11/21**



SITE PLAN - SKILLION FACADE
1 : 100

LEGEND - INTERNAL

BC - BROOM CLIPBOARD	CV - COLORBOARD SHEETING
CD - DOWNPIPE	FC - FIBRE CEMENT SHEETING
DP - DOWNPIPE PROX.	FR - RENDERED REFR. PANELS
FW - FLOOR WASTE	GB - GALV. CORRUGATED GIBBING
HP - HOT PLATE	RBL - RENDERED BLOCKWORK
HWS - HOT WATER SYSTEM	SA - SOYCON AXON
IL - LINOLEUM	SL - SOYCON LINER
IR - IRRADIANT W/UNDER	SS - SOYCON STRA CLADDING
MC - OVERHEAD CLIPBOARD	WB - HARDOES NEWPORT
PT - PANTRY	CB - COLORBOARD SHEETING
REF - REFRIGERATOR SPACE	
RH - RANGE HOOD	
SH - SHELF	
TR - TOWEL RAIL	
WB - UNDER-BENCH OVEN	
WO - WALL OVEN	

LEGEND - EXTERNAL

BV - BRICK VENEER
CJ - CONTROL JOINT
FC - FIBRE CEMENT SHEETING
FR - RENDERED REFR. PANELS
GB - GALV. CORRUGATED GIBBING
RBL - RENDERED BLOCKWORK
SA - SOYCON AXON
SL - SOYCON LINER
SS - SOYCON STRA CLADDING
WB - HARDOES NEWPORT
CB - COLORBOARD SHEETING

PROPERTY DESCRIPTION
LOT:8034 ; SP 318118
LOCAL COUNCIL :
SSCCRC
AREA : 10.724ha

ISSUE	DATE	DETAILS	BY
1	22/07/21	PRELIM	PW

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE

SITE PLAN - SKILLION FACADE

PROJECT DESCRIPTION
Proposed Dwelling For:

CLIENT:
STOCKWELL

SITE ADDRESS
300, Occhiupo Circuit
Agnias Water, 4677

DESIGNED BY	Designer
DRAWN BY	Author
SCALE	1:100
JOB CODE	C-SAW-00C
SHEET	1-SK OF 5

NOTES : 1. PROVIDE LIFT OFF HINGES TO W.C. DOORS
 2. SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH INC. 3.7.2

3. REFER ELECTRICAL PLAN FOR PLACEMENT.
 4. FLOOR WASTE POSITIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED BY LOCAL AUTHORITY PLUMBING REGULATIONS AND THE BUILDING CODE OF AUSTRALIA.

5. DESIGN IN ACCORDANCE WITH AS 3623, 6. STEEL FRAME WALLS AND TRUSSES IN ACCORDANCE WITH MANUFACTURERS

DESIGN AND SPECIFICATION. DESIGN AND ENGINEERING TO BE PROVIDED TO CERTIFIER PRIOR TO INSTALL.

LEGEND - INTERNAL

- BC - BRICK CURBOARD
- CB - CURBOARD
- DC - DOWNPIPE
- DW - DOWNWATER PROV.
- FW - FLOOR WASTE
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- IS - INSULATION
- MA - MANHOLE
- MA - MCKNOWAVE PROV.
- MC - OVERHEAD CURBOARD
- PTV - PANTRY
- REF - REFRIGERATOR SPACE
- RH - RANKS HOOD
- SH - SHELF
- TOWEL PAL
- TR - TOWEL ROLL HOLDER
- UB - UNDERBENCH OVEN
- WC - WALL OVEN

LEGEND - EXTERNAL

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- FR - FIBRE REINFORCED CONCRETE
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON MESH
- SM - SCYON MESH/PANELING
- SS - SCYON STRA CLADDING
- WB - HARDIES NEWPORT
- CB - COLORBOND SHEETING

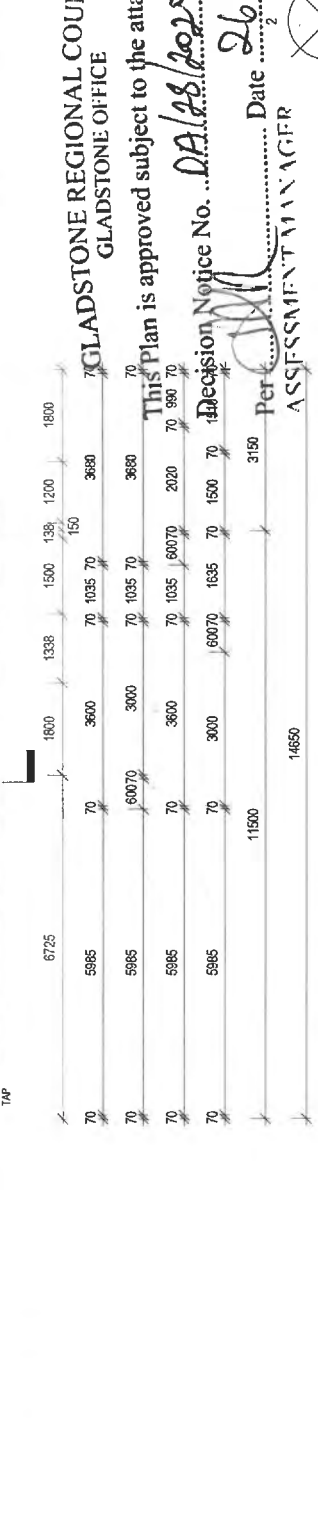
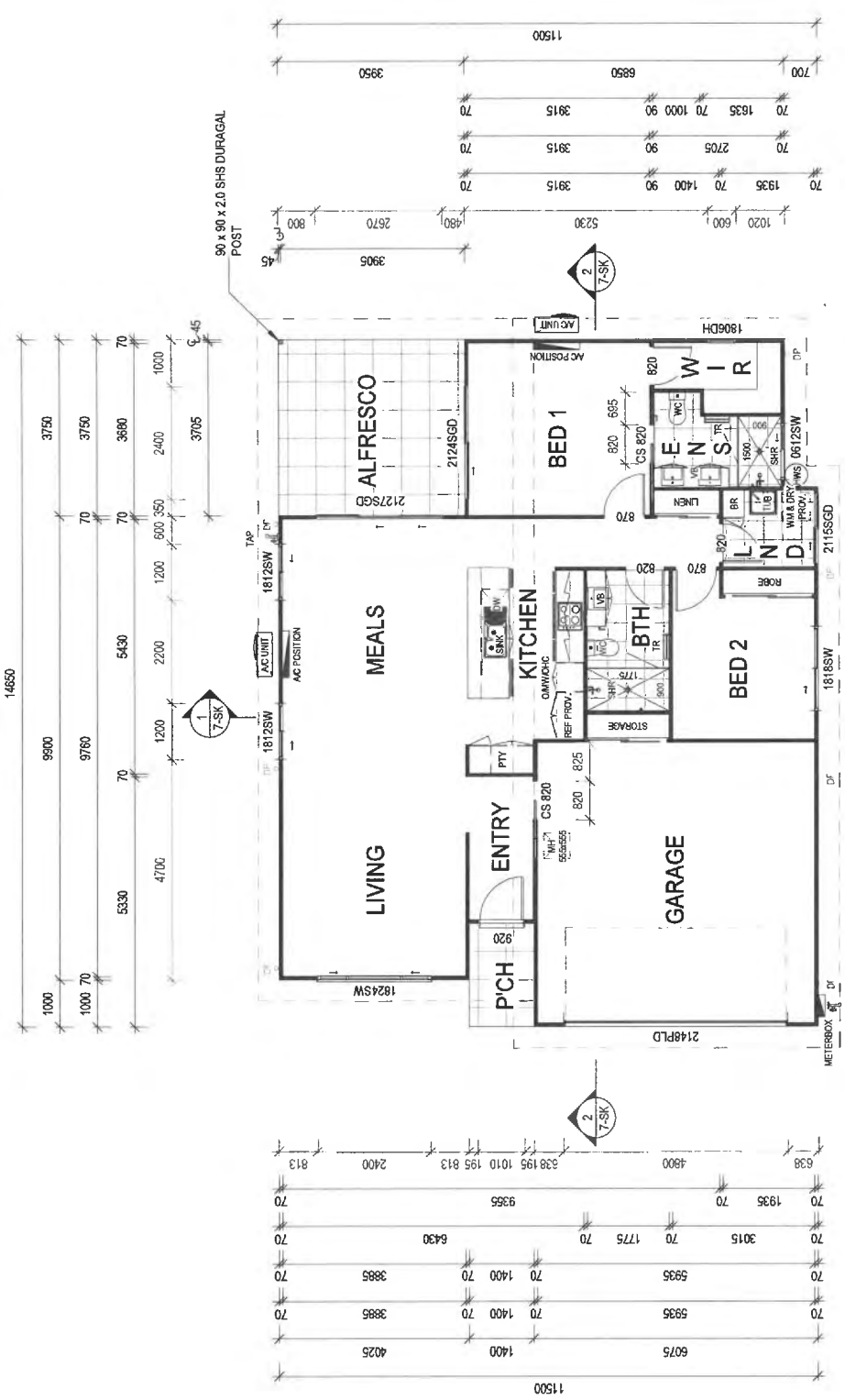
FLOOR AREAS

Living	105.99 m ²
Garage	38.36 m ²
Alfresco	14.81 m ²
Porch	3.08 m ²
Grand total	162.25 m ²

ISSUE	#	DATE	DETAILS	BY
A	1	22/07/21	PRELIM	PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

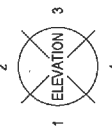
FLOOR PLAN - SKILLION FACADE



GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE

This plan is approved subject to the attached
 Decision Notice No. DA/25/2020
 Date 26/11/21

Per [Signature] Date 26/11/21
 ASSESSMENT MANAGER



FLOOR PLAN - SKILLION FACADE
 1 : 100

COCKATOO - SKILLION FACADE

PROJECT DESCRIPTION
 Proposed Dwelling For.

CLIENT
STOCKWELL

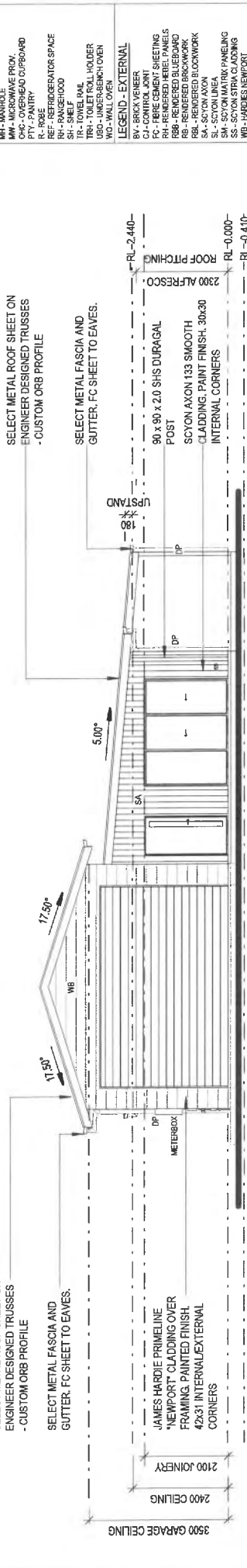
SITE ADDRESS
 300, Coochilupe Circuit
 Agnes Water, 4677

DESIGNED BY Designer
 DRAWN BY Author
 SCALE JOB CODE
 1 : 100 C-SAW-00C

SHEET 2-SK OF 5

NOTES:

1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

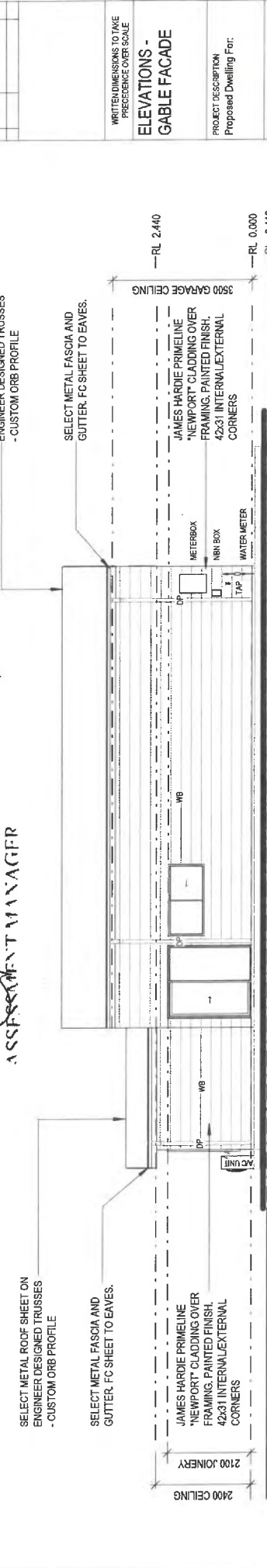


ELEVATION 1
1 : 100

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. D.A.12.8/2.02.9
Per [Signature] Date 26/11/24
ASSESSMENT MANAGER



ELEVATION 2
1 : 100

LEGEND - INTERNAL

- BC - BROOM CUPBOARD
- CB - CUPBOARD
- DP - DOWNPIPE
- EW - EXTERIOR WALL
- FW - FLOOR/WALL
- HW - HOT WATER SYSTEM
- L - LINEN
- MC - MICROWAVE CABINET
- OC - OVERHEAD CUPBOARD
- PT - PANTRY
- R - ROBE
- RF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOWEL RAIL HOLDER
- WD - WALL OVER

LEGEND - EXTERNAL

- RV - RUCK VENEER
- CI - CONCRETE CURB
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HERB PANELS
- BB - RENDERED BLUEBOARD
- BB - RENDERED BLUEBOARD
- RBL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINEA
- SM - SCYON TRIM PANELING
- SS - SCYON STRIP PANELING
- WB - HARDIES NEWPORT
- CB - COLORSBOND SHEETING

ISSUE	DATE	DETAILS	BY
A	20/07/21	PRELIM	PW
B	02/08/21	CHANGES	PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS - GABLE FACADE

PROJECT DESCRIPTION
Proposed Dwelling For:

CLIENT
STOCKWELL
SITE ADDRESS:
300, Cecilia Drive
Agnes Water, 4677

DESIGNED BY: Designer
DRAWN BY: Author
SCALE: 1:100
JOB CODE: C-SAW-00W
SHEET 4-GA OF 5

WREN - GABLE FACADE

LEGEND - INTERNAL

- BC - BROOM CUPBOARD
- CD - DOWNPIPE
- DF - DOWNPIPE
- FW - FLOOR WASTE
- HP - HOT PLATE
- HW - HOT WATER SYSTEM
- L - LINEN
- MA - MAKE
- MM - MICROWAVE PROV.
- OC - OVERHEAD CUPBOARD
- PT - PANTRY
- RES - REFRIGERATOR SPACE
- RI - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- UB - UNDERBENCH OVEN
- WD - WALL OVEN

LEGEND - EXTERNAL

- BY - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- FR - FIBRE REINFORCED PLASTER
- GL - GROUND LEVEL
- RL - RENEWED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINER
- SS - SCYON STRIP CLADDING
- WB - HARDIES NEWPORT
- CB - COLORBOND SHEETING

ISSUE	#	DATE	DETAILS	BY
A	20/07/21	PRELIM		PW
B	12/08/21	CHANGES		PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS - GABLE FACADE

PROJECT DESCRIPTION
Proposed Dwelling For:

CLIENT: **STOCKWELL**

SITE ADDRESS:
300, Oochilupo Circuit
Agnes Water, 4677

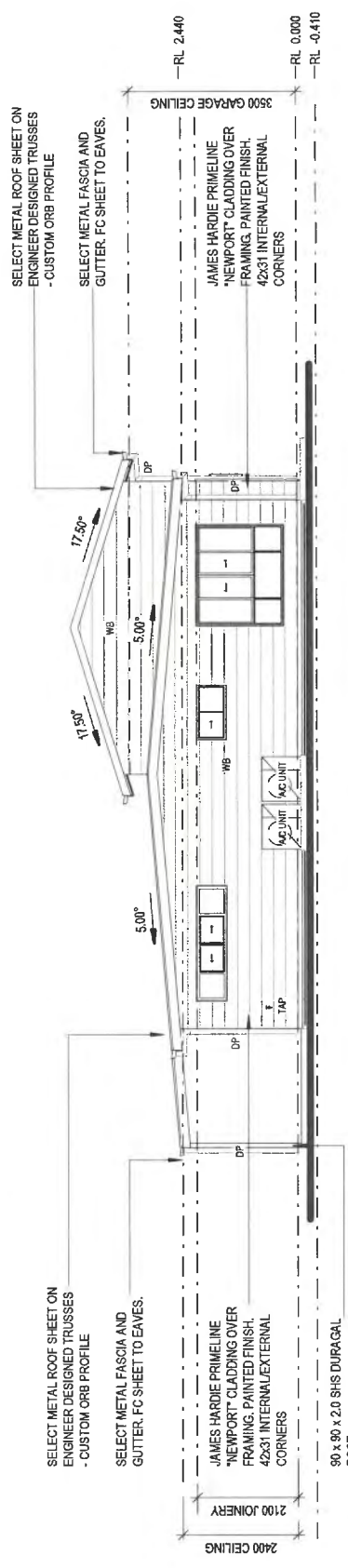
DESIGNED BY: Designer
DRAWN BY: Author

SCALE: 1:100
JOB CODE: C-SAW-00W

SHEET 5-GA OF 5

NOTES:

1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

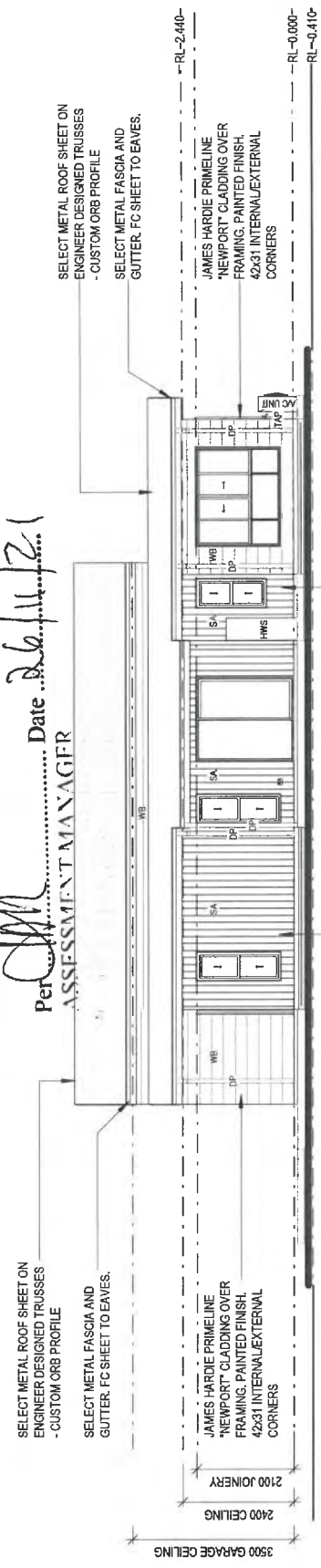


ELEVATION 3
1 : 100

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. DA 128/2020
Per [Signature] Date 26/11/21
ASSESSMENT MANAGER



ELEVATION 4
1 : 100

LEGEND - INTERNAL
 BC - BROOM CUPBOARD
 CBD - CUPBOARD
 DW - DRAINWATER WASTE
 FM - FLOOR WASTE
 HP - HOT PLATE
 HWS - HOT WATER SYSTEM
 L - LINEN
 LW - LAUNDRY
 MW - MICROWAVE PROV.
 OHC - OVERHEAD CUPBOARD
 PTY - PANTRY
 R - REFRIGERATOR
 RSP - REFRIGERATOR SPACE
 RH - RANGEHOOD
 SH - SHELF
 TR - TONEL RAIL
 TR - TONEL RAIL HOLDER
 UR - UNDER SINK UNIT
 WD - WALL OVEN

LEGEND - EXTERNAL
 RV - RIBBY VERGER
 C1 - CONTROL JOINT
 FC - FIBRE CEMENT SHEETING
 RH - RENDERED REBEL PANELS
 RB - RENDERED BRICKWORK
 RBL - RENDERED BLOCKWORK
 SA - SCYON AXON
 SL - SCYON LINE
 SS - SCYON STRIP GLASSING
 WB - HANDIES NEWPORT
 CB - COLORBOND SHEETING

PROPERTY DESCRIPTION
 LOT: 9034 . SP 318118
 LOCAL COUNCIL: SSCRC
 AREA: 10.724ha

ISSUE #	DATE	DETAILS	BY
A	20/02/21	PRELIM	PW
B	01/02/21	CHANGES	PW
C	30/07/21	CHANGES	PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

SITE PLAN - HIP FACADE

PROJECT DESCRIPTION
 Proposed Dwelling For:

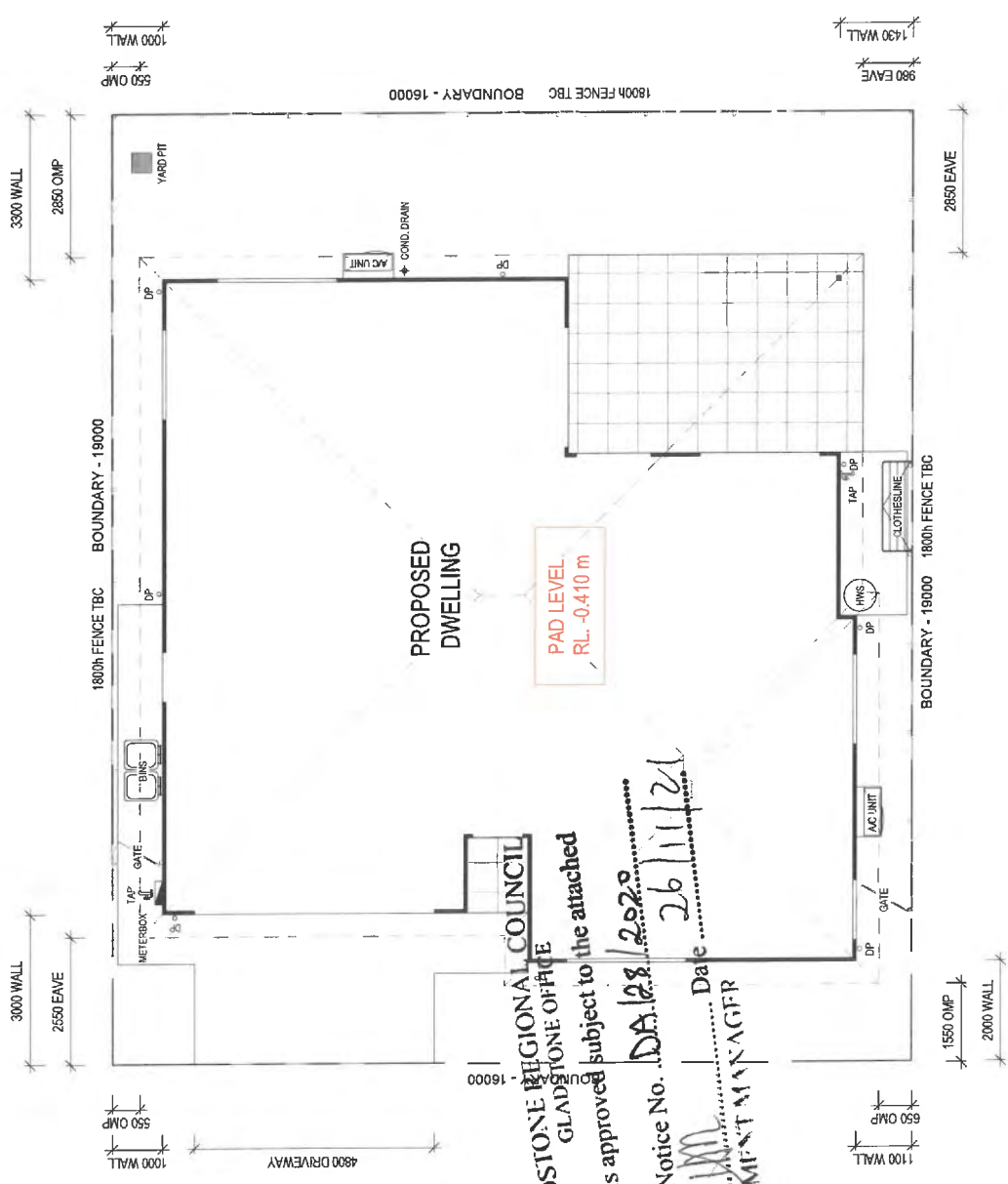
CLIENT:

STOCKWELL
 SITE ADDRESS:
 300, Cochlupo Circuit
 Agnes Water, 4677

DESIGNED BY: Designer
 DRAWN BY: Author
 SCALE: 1:100
 JOB CODE: C-SAW-00R

SHEET 1-HI OF 5

ROSELLA - HIP FACADE



GENERAL NOTES:
 1. ALL MATERIALS SHALL BE NEW
 2. FOOTINGS TO ENGINEER DETAILS.
 3. ALL CONCRETE TO BE 20MPa.
 4. SLAB TO ENGINEER DETAILS.
 5. UNDERLAY WITH 20mm POLYURETHANE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND.
 6. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TEMPERATURE CONTROL AS PER BUILDERS SPECIFICATIONS.
 7. STUD FRAMING ALL FINISHES AS WORKMANSHIP.
 8. UNIKS: AS PER BUILDERS SPECIFICATIONS.
 9. ROOFING COLORBOND METAL SHEET.
 10. ROOFING TO BE 20MPa CONCRETE AND FINED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
 11. PLUMBER AND DRAINER TO LOCAL AUTHORITY REGULATIONS.
 12. BRICKLAYER GALVANISED WALL TIES 1 ROW AT 2 COURSES ABOVE FLASHING LINE AND 1 ROW IN THE SECOND LAST 500mm IN BETWEEN ON EACH SIDE @ PROVIDE KEEP HALER @ BRICKS ALONG FLASHING.
 13. BRICKLAYER AREA FLOORS AND GUMMER FLOORS TO COMPLY WITH LOCAL SECTION 11.11. SPACING OF ARTICULATION JOINTS FOR MASONRY WALLS TO AS 2704 - 2001.
 14. ALL BUILDING TO CHECK AND CONFIRM ALL DIMENSIONS AND LEVELS. ALL DIMENSIONS AND CONSTRUCTION DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA.128/2020
 Date 26/11/21
 Per [Signature] ASSESSMENT MANAGER

SITE PLAN - HIP FACADE
 1 : 100

NOTES : 1. PROVIDE LIFT OFF HINGES TO W.C. DOORS
 2. SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH NCC. 3.7.2.

3. REFER ELECTRICAL PLAN FOR PLACEMENT AND THE BUILDING CODE OF AUSTRALIA, LOCAL AUTHORITY PLUMBING REGULATIONS AND THE BUILDING CODE OF AUSTRALIA, 6 STEEL FRAME WALLS AND TRUSSES IN ACCORDANCE WITH AS 3623.
 4. FLOOR WASTE POSITIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED BY DOMESTIC METAL FRAMING CLASSIFICATION ACCORDANCE WITH MANUFACTURERS PRIOR TO INSTALL.

DESIGN AND SPECIFICATION, DESIGN AND ENGINEERING TO BE PROVIDED TO CERTIFIER

LEGEND - INTERNAL	
BC	BROWN CUPBOARD
CB	CUPBOARD
DW	DISH WASHER PROV.
FW	FLOOR WASTE
HP	HOT PLATE
HWS	HOT WATER SYSTEM
MA	MAHOLE
MA-MANHOLE	
MC	MCROWARE PROV.
OCB	OVERHEAD CUPBOARD
P	PLASTER
PT	PLASTER TYPY
REF	REFRIGERATOR SPACE
RH	RANGEHOOD
SH	SH. SHELF
TR	TILE
TR-1	TILE TRAY HOLDER
UBO	UNDER-BENCH OVEN
WO	WALL OVEN

LEGEND - EXTERNAL	
BY	BRICK VENEER
CJ	CONTROL JOINT
CS	CEILING SHEETINGS
CS-1	CEILING SHEETINGS
CS-2	CEILING SHEETINGS
CS-3	CEILING SHEETINGS
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CS-100	CEILING SHEETINGS

FLOOR AREAS	
Living	121.53 m ²
Garage	38.32 m ²
Alfresco	23.48 m ²
Porch	1.80 m ²
Grand total	185.14 m ²

ISSUE	#	DATE	DETAILS	BY
A	24.05.21	PRELIM		PW
B	01.05.21	CHANGES		PW
C	30.07.21	CHANGES		PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE
FLOOR PLAN - HIP FACADE

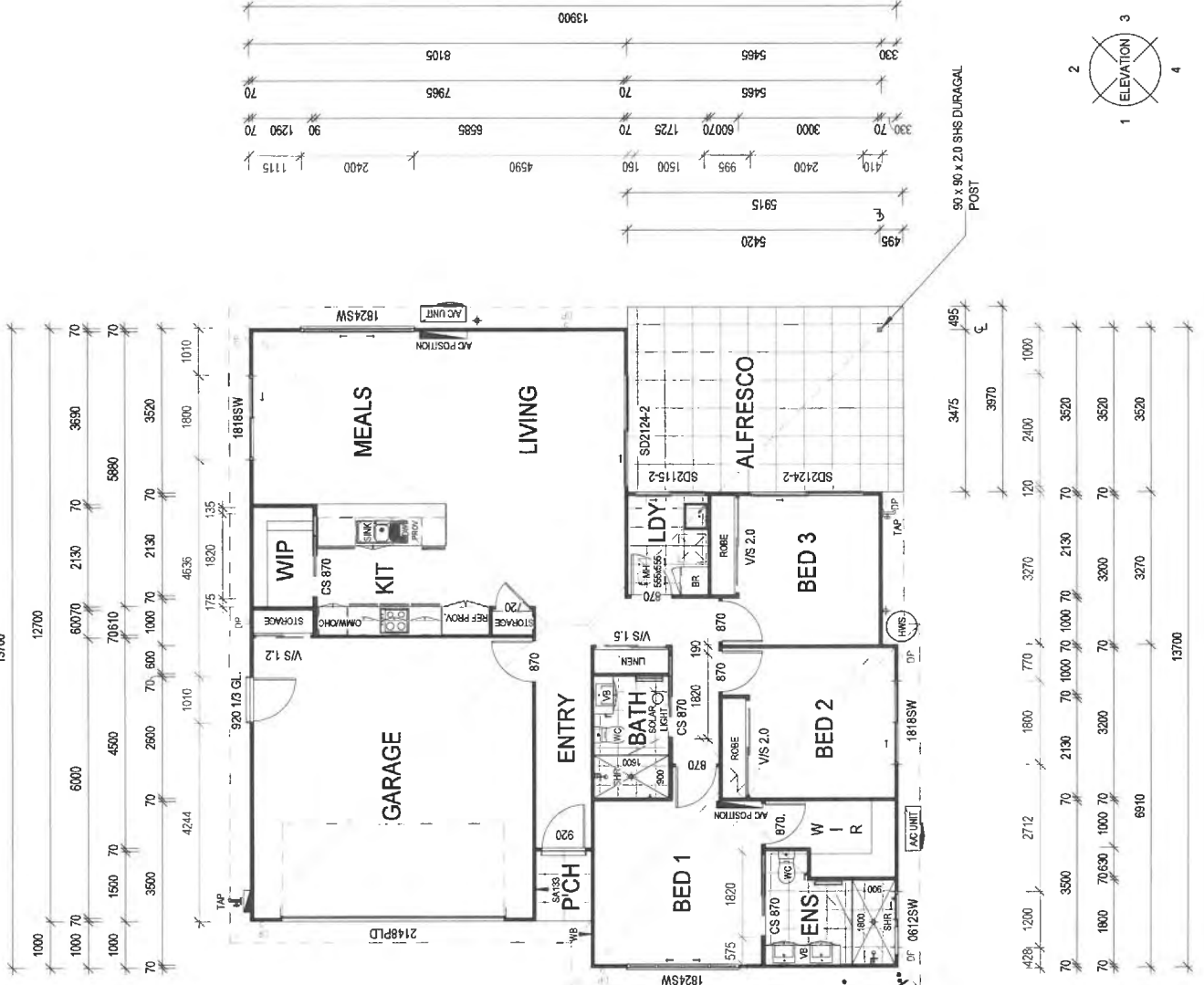
PROJECT DESCRIPTION
 Proposed Dwelling For:

CLIENT
STOCKWELL
 SITE ADDRESS
 300, Occhilupo Circuit
 Agnes Water, 4677

DESIGNED BY
 Designer
 M. KIRKGAARD

DRAWN BY
 1-100
 C-SAW-00R

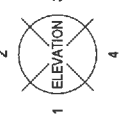
SHEET 2-HI OF 5



ROSELLA - HIP FACADE

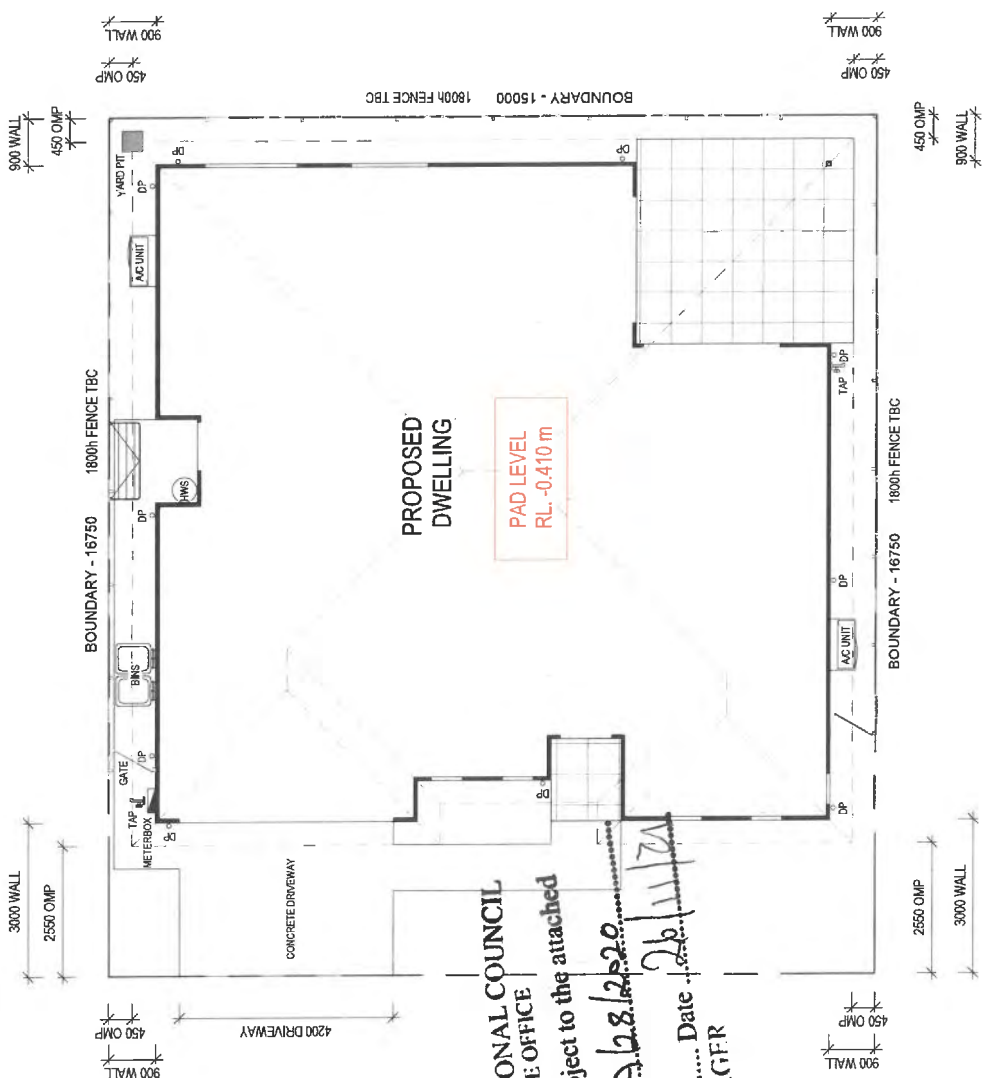
GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA 81220
 Date 26/11/21
 Per [Signature] ASSESSMENT MANAGER

FLOOR PLAN - HIP FACADE
 1 : 100



- GENERAL NOTES:**
1. ALL MATERIALS SHALL BE NEW.
 2. FOOTING TO ENGINEER DETAILS.
 3. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEHIND THROUGHOUT.
 4. ALL CONCRETE TO BE 30MPa UNLESS OTHERWISE SPECIFIED.
 5. UNDERLAY WITH 200mm POLYURETHANE WATERPROOF MEMBRANE AND ALL PROVISIONS CAST ON 50mm SAND.
 6. ALL CONCRETE TO BE 30MPa UNLESS OTHERWISE SPECIFIED.
 7. AT 28 DAYS USE TEMPERATURE CONTROL AS PER BUILDERS SPECIFICATIONS.
 8. ALL STUD FRAMING ALL FIRMS AS WORKMANSHIP.
 9. ALL JOINTS TO LOCAL AUTHORITY REGULATIONS.
 10. ALL LINKS AS PER BUILDERS SPECIFICATIONS.
 11. ROOFING COLORBOND METAL SHEET ROOFING ON CONCRETE ROOF TIERS.
 12. ALL FRAMING TO BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
 13. ALL FRAMING TO LOCAL AUTHORITY REGULATIONS.
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LEGEND - INTERNAL	LEGEND - EXTERNAL	PROPERTY DESCRIPTION	ISSUE
BC - BROOM CUTBOARD	BY - BRICK VENEER	LOT: 8034	1. DATE
CD - CUPBOARD	CJ - CONTROL JOINT	SP: 318118	2. DATE
DP - DOWNPIPE	FC - FERRE CEMENT SHEETING	LOCAL COUNCIL:	PRELIM
DS - DOWNSPUTTER	RH - RENDERED HEBEL PANELS		FW
FW - FLOOR WASTE	RB - RENDERED BROOMBOARD		CHANGES
HP - HOT PLATE	RBL - RENDERED BLOCKWORK		FW
HMS - HOT WATER SYSTEM	SA - 50YON AXON		CHANGES
L - LINEN	SL - 50YON LINEA		FW
MC - MICROWAVE PROV.	SM - 50YON STRATA		
MC - OVERHEAD CUPBOARD	SL - 50YON STRATA PANELING		
MT - MOUNTING TIE	SR - 50YON STRATA CLADDING		
PT - PANTRY	WB - HANCOBS NEWPORT		
RE - REFERENCE TO SPACE	WB - COLORBOND SHEETING		
RF - REFERENCE TO SPACE			
RH - RANGEHOOD			
SH - SHELF			
TR - TOWEL RAIL			
UBO - UNDERBENCH OVER			
WO - WALL OVEN			



GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. DA.12.8.12.2.0 Date 26/11/21
 Per [Signature] ASSESSMENT MANAGER

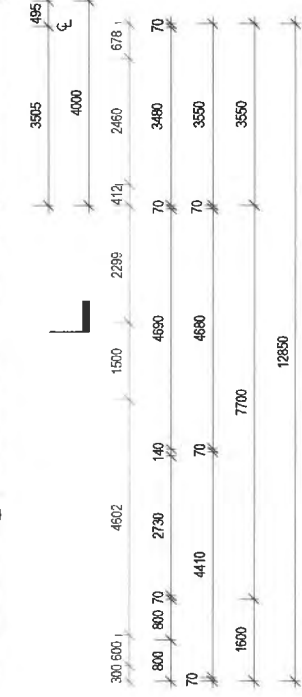
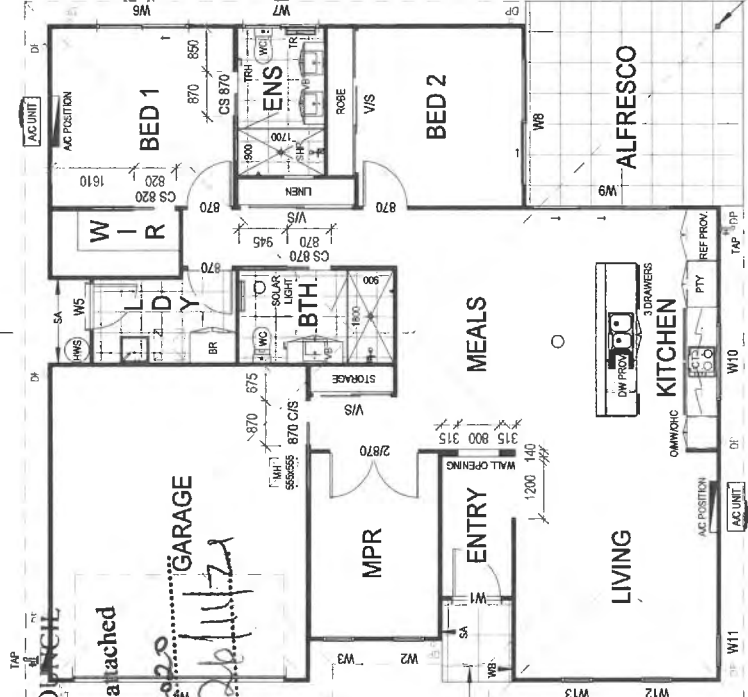
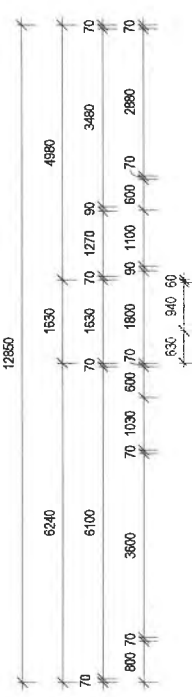
SITE PLAN - HIP FACADE
 1 : 100

DESIGN AND SPECIFICATION, DESIGN AND ENGINEERING TO BE PROVIDED TO CERTIFIER PRIOR TO INSTALL.

LOCAL AUTHORITY PLUMBING REGULATIONS AND THE BUILDING CODE OF AUSTRALIA, 5. DESIGN IN ACCORDANCE WITH AS 3623, ACCORDANCE WITH MANUFACTURERS DOMESTIC METAL FRAMING CLASSIFICATION

3. REFER ELECTRICAL PLAN FOR PLACEMENT, 4. FLOOR WASTE POSITIONS ARE INDICATIVE ONLY, FINAL POSITIONS TO BE DETERMINED BY

NOTES : 1. PROVIDE LIFT OFF HINGES TO W.C. DOORS 2. SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH NCC. 3.7.2.



LEGEND - INTERNAL
 BC - BROOK CUPBOARD
 CD - DOWNPIPE
 DM - FLOOR WASTE
 HW - HOT WATER SYSTEM
 L - LINEN
 LK - LINEN KLEIN
 MW - MICROWAVE PROV.
 OMC - OVERHEAD CUPBOARD
 PTV - PANTRY
 REF - REFRIGERATOR SPACE
 RH - RANGEROOD
 SH - SHELF
 TR - TOWEL RAIL
 UG - UNDERBENCH SINK
 USO - UNDERBENCH OVEN
 WD - WALL OVEN

LEGEND - EXTERNAL
 BV - BRICK VENEER
 CJ - CONTROL JOINT
 FC - FIBRE CEMENT SHEETING
 RH - RENDERED REBEL PANELS
 RIB - REINFORCED BLOCKWORK
 RBL - RENDERED BLOCKWORK
 SA - SCOTCH AXON
 SL - SCOTCH LINER
 ST - SCOTCH STRA CLADDING
 WB - WOODS NEWPORT
 CB - COLORBOND SHEETING

FLOOR AREAS

Living	118.28 m ²
Garage	32.18 m ²
Alfresco	17.10 m ²
Porch	2.18 m ²
Grand total	169.74 m ²

ISSUE

#	DATE	DETAILS	BY
A	24/06/21	PRELIM	PW
B	01/08/21	CHANGES	PW
C	27/07/21	CHANGES	PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

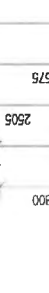
FLOOR PLAN - HIP FACADE

PROJECT DESCRIPTION
 Proposed Dwelling For:

CLIENT:
STOCKWELL
 SITE ADDRESS
 300, Occhilupo Circuit
 Agnes Water, 4677

DESIGNED BY Designer
 DRAWN BY M. KIRKGAARD
 SCALE 1:100
 JOB CODE C-SAW 00H

SHEET 2-HI OF 5



HERON 1.75 - HIP FACADE

90 x 90 x 2.0 SHS DURAGAL POST

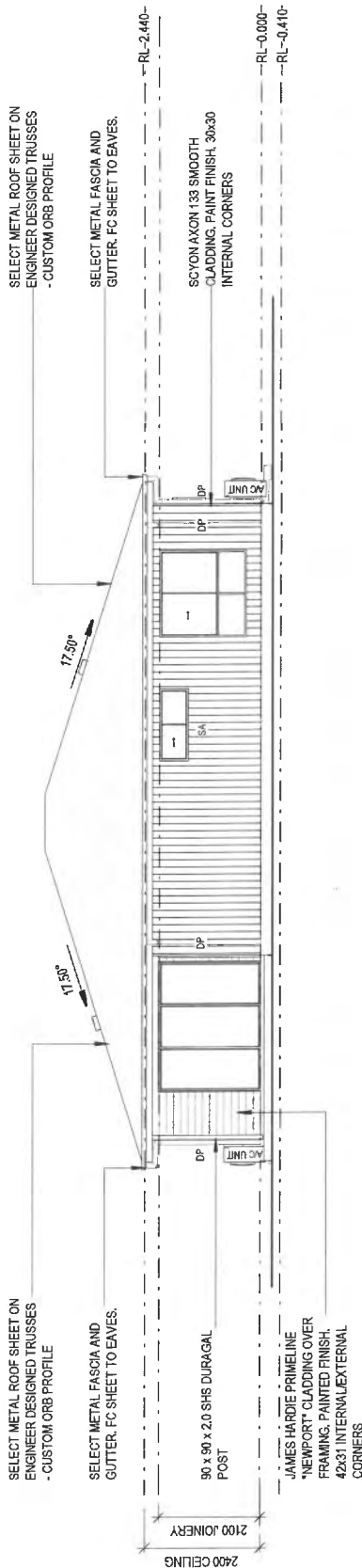
FLOOR PLAN - HIP FACADE

1 : 100

Per *[Signature]* Date *26/11/21*
 Decision Notice No. *D.A. 28/2020*
 ASSESSMENT MANAGER

GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE
 This Plan is approved subject to the attached

- NOTES:
1. ALL FIXINGS AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
 2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.



ELEVATION 3

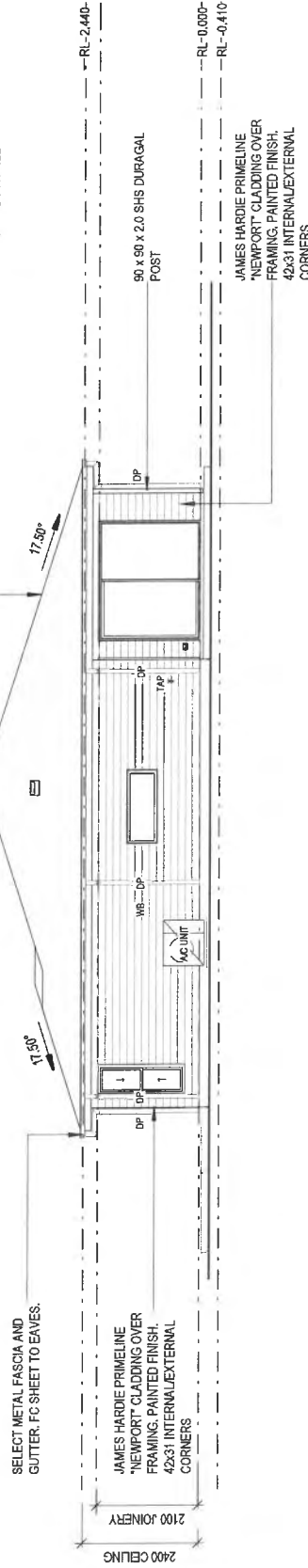
1 : 100

GLADSTONE REGIONAL COUNCIL GLADSTONE: OFFICE

This Plan is approved subject to the attached

Decision Notice No. **DA/28/2020**

Per *[Signature]* Date **26/11/21**
ASSESSMENT MANAGER



ELEVATION 4

1 : 100

LEGEND - INTERNAL

BC - BRICK CUPBOARD
CB - CUPBOARD
OW - OSHWASHER/PROV.
FW - FLOOR WASTE
HP - HOT PLATE
HWS - HOT WATER SYSTEM
MI - MIRROR
MH - MASHOLE
MW - MICROWAVE PROV.
OC - OVERHEAD CUPBOARD
PT - PANTRY
REF - REFRIGERATOR
REF - REFRIGERATOR SPACE
RH - RANGEHOOD
SH - SHELF
TR - TONELIN
UB - UNDER BENCH OVEN
WO - WALL OVEN

LEGEND - EXTERNAL

BV - BRICK VENEER
CJ - CONTROL JOINT
FC - FERRE CEMENT SHEETING
FL - FLOORING
GL - GULLY
RB - RENDERED BRICKWORK
RB - RENDERED BRICKWORK
SA - SCYON AXON
SA - SCYON AXON
SA - SCYON AXON PANELING
SS - SCYON STRIA CLADDING
WB - HARDIES NEWPORT
CB - COLORBOND SHEETING

ISSUE	DATE	DETAILS	BY
A	20/05/21	PRELIM	PN
B	01/08/21	CHANGES	PN
C	27/07/21	CHANGES	PN

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS - HIP
FACADE**

PROJECT DESCRIPTION:
Proposed Dwelling For:

CLIENT
STOCKWELL

SITE ADDRESS
300, Cecchiupo Circuit
Agnes Water, 4877

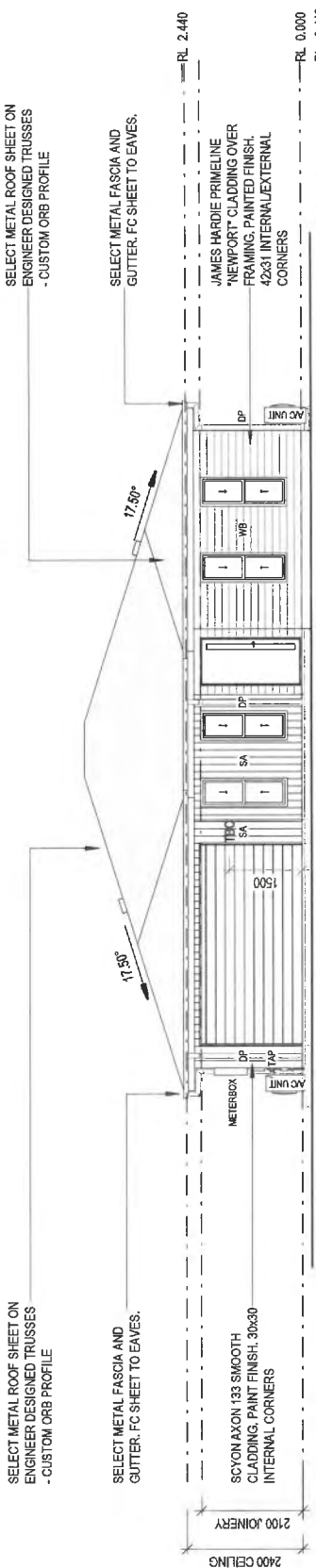
DESIGNED BY: Design
DRAWN BY: M. KIRKGAARD

SCALE: 1:100
JOB CODE: C-SAW 00H

SHEET 5-HI OF 5

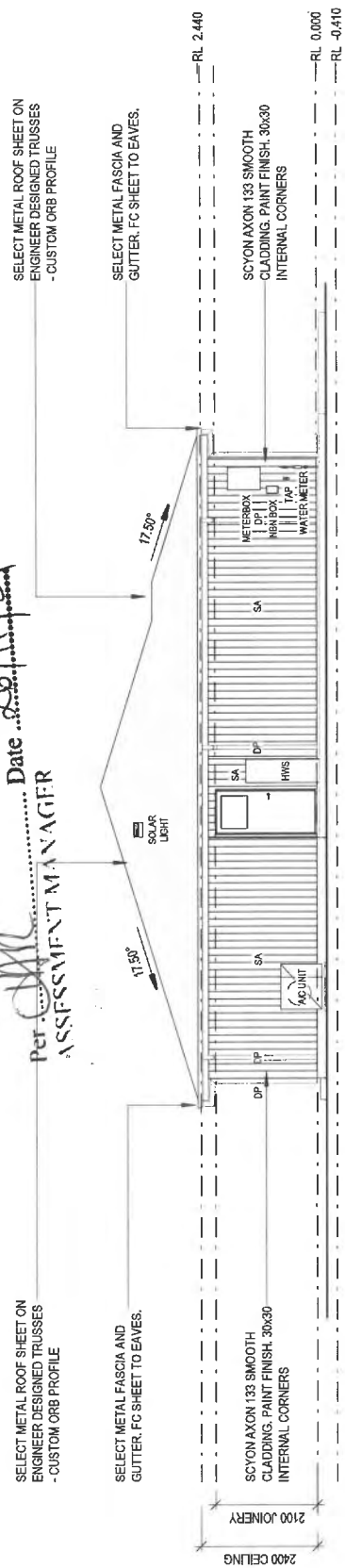
HERON 1.75 - HIP FACADE

NOTES: 1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
 2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.



ELEVATION 1
1:100

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE
 This Plan is approved subject to the attached
 Decision Notice No. D9.128.12.220
 Per [Signature] Date 26/11/24
ASSESSMENT MANAGER



ELEVATION 2
1:100

LEGEND - INTERNAL

- BC - BRICK CURBOARD
- CRD - CURBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FR - FRIDGE
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINER
- MA - MAINS
- MC - MESS ROOM
- OC - OVERHEAD CURBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- SG - SINK
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UD - UNDER BENCH OVEN
- WB - WASH BASIN

LEGEND - EXTERNAL

- BY - BRICK VENEER
- FC - FIRE CEMENT SHEETING
- FR - FIBRE CEMENT PANELS
- RR - RENDERED REBEL PANELS
- RRB - RENDERED BLUEBOARD
- RRL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SP - SCYON PANELING
- WB - HARDENED WORK
- CB - COLORBOND SHEETING

ISSUE	#	DATE	DETAILS	BY
A	24.06.21	PRELIM		PM
B	01.09.21	CHANGES		PM
C	27.07.21	CHANGES		PM

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS - HIP FACADE

PROJECT DESCRIPTION
 Proposed Dwelling For:



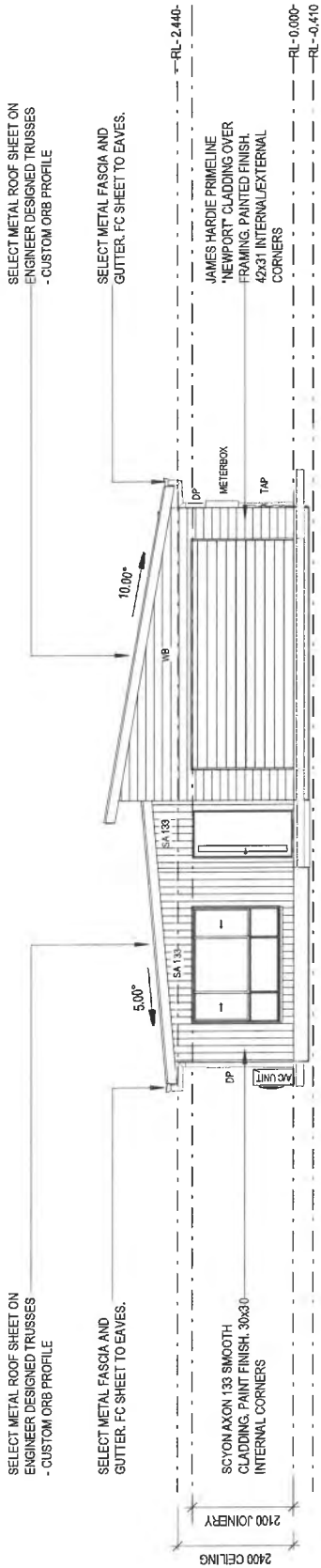
SITE ADDRESS:
 300, Occhilupo Circuit
 Agnes Water, 4677

DESIGNED BY Designer
 DRAWN BY M. KROGGARD
 SCALE 1:100
 JOB CODE C-SAW 00H

SHEET 4-HI OF 5

HERON 1.75 - HIP FACADE

NOTES: 1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.



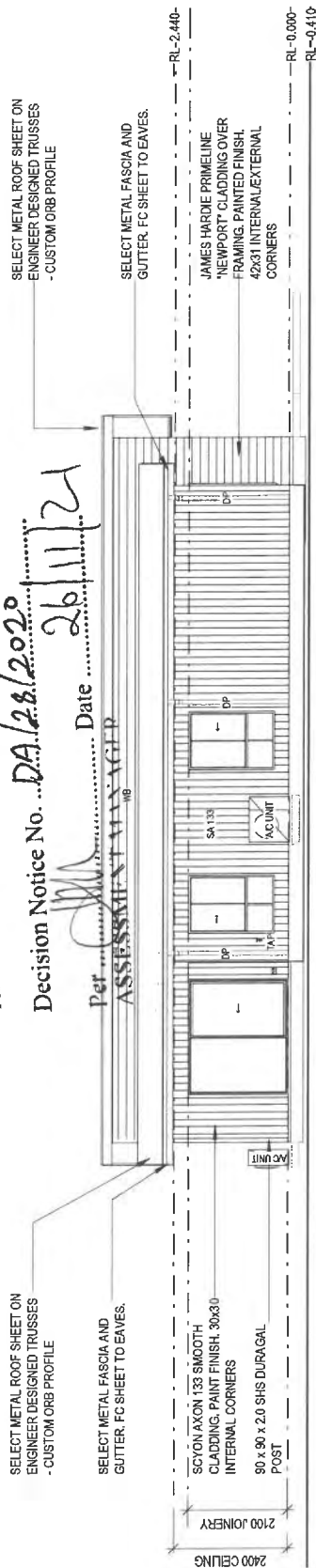
ELEVATION 1
1 : 100

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. ...DA/28/2020

Per *[Signature]* Date 26/11/21



ELEVATION 2
1 : 100

LEGEND - INTERNAL

BC	- BROOK CUPBOARD
CB	- CUPBOARD
DP	- DOWNPipes
DP	- DOWNPipes PROX.
FW	- FLOOR WASTE
HP	- HOT PLATE
HWS	- HOT WATER SYSTEM
L	- LINEN CASE
MM	- MICRO WAVE
MM	- MICRO WAVE PROX.
OC	- OVERHEAD CUPBOARD
PT	- PANTRY
REF	- REFRIGERATOR
REF	- REFRIGERATOR SPACE
RH	- RANGE HOOD
SH	- SHELF
TR	- TOWEL RAIL
WB	- WASH BASIN
WB	- WASH BASIN HOODER
WB	- WASH BASIN UNIT
WB	- WASH BASIN UNIT CABIN
WO	- WALL OVEN

LEGEND - EXTERNAL

BY	- BRICK VENEER
CJ	- CONTROL JOINT
FC	- FIBRE CEMENT SHEETING
RH	- RENDERED HEBEL PANELS
RB	- RENDERED BLOCKBOARD
RB	- RENDERED BLOCKWORK
RBL	- RENDERED BLOCKWORK
SA	- SCYON AXON
SL	- SCYON LINEA
SS	- SCYON STRIP FINISHING
WB	- HANDLES NEWPORT
CB	- COLORBOND SHEETING

ISSUE	DATE	DETAILS	BY
A	22/07/21	PRELIM	FW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS - SKILLION FACADE

PROJECT DESCRIPTION:
Proposed Dwelling For:



CLIENT
SITE ADDRESS
300, Ochilupo Circuit
Agnes Water, 4677

DESIGNED BY Designer
DRAWN BY Author
SCALE 1:100
JOB CODE C-SAW-00C

SHEET 4-SK OF 5

COCKATOO - SKILLION FACADE

NOTES: 1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
 2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

SELECT METAL ROOF SHEET ON
ENGINEER DESIGNED TRUSSES
- CUSTOM ORB PROFILE

SELECT METAL FASCIA AND
GUTTER, FC SHEET TO EAVES.

JAMES HARDIE PRIMELINE
"NEWPORT" CLADDING OVER
FRAMING, PAINTED FINISH,
42x31 INTERNAL/EXTERNAL
CORNERS

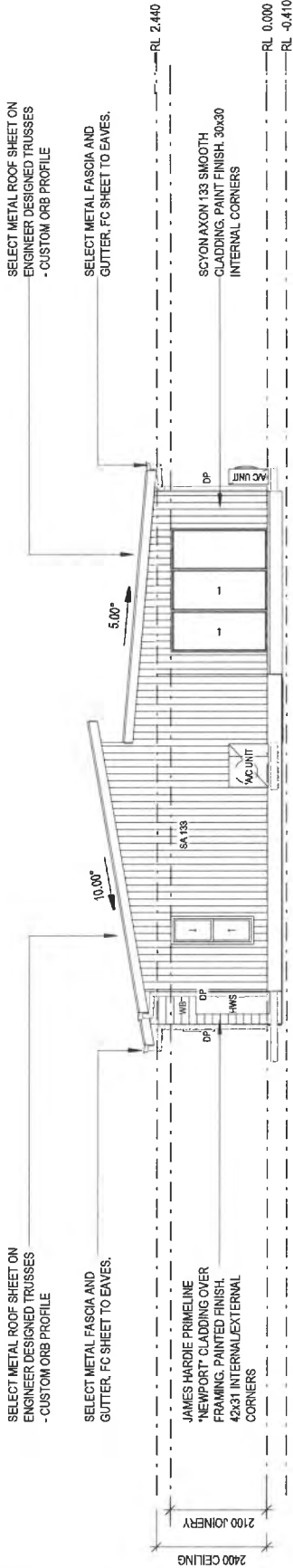
SELECT METAL ROOF SHEET ON
ENGINEER DESIGNED TRUSSES
- CUSTOM ORB PROFILE

SELECT METAL FASCIA AND
GUTTER, FC SHEET TO EAVES.

SCYON AXON 133 SMOOTH
CLADDING, PAINT FINISH, 30x30
INTERNAL CORNERS

ELEVATION 3

1 : 100



GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. *DA/29/2020*

Per *[Signature]* Date *26/1/21*
ASSESSMENT MANAGER

SELECT METAL ROOF SHEET ON
ENGINEER DESIGNED TRUSSES
- CUSTOM ORB PROFILE

SELECT METAL FASCIA AND
GUTTER, FC SHEET TO EAVES.

JAMES HARDIE PRIMELINE
"NEWPORT" CLADDING OVER
FRAMING, PAINTED FINISH,
42x31 INTERNAL/EXTERNAL
CORNERS

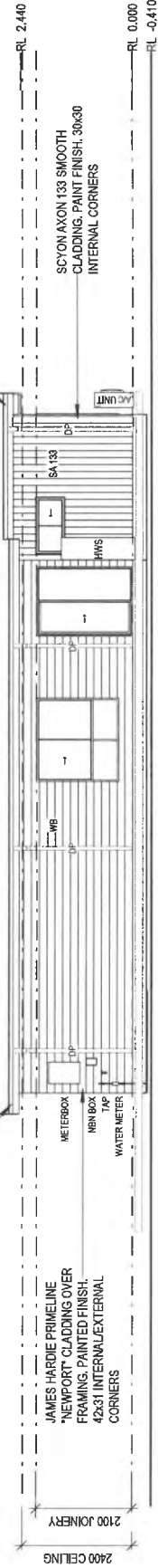
SELECT METAL ROOF SHEET ON
ENGINEER DESIGNED TRUSSES
- CUSTOM ORB PROFILE

SELECT METAL FASCIA AND
GUTTER, FC SHEET TO EAVES.

SCYON AXON 133 SMOOTH
CLADDING, PAINT FINISH, 30x30
INTERNAL CORNERS

ELEVATION 4

1 : 100



LEGEND - INTERNAL	
BC	- BRICK CURBBOARD
CB	- CUPBOARD
CS	- COUNTERTOP
DM	- DRY WASH PROV.
FW	- FLOOR WASTE
HP	- HOT PLATE
HWS	- HOT WATER SYSTEM
MA	- MANGROVE
MA	- MANGROVE
MC	- MICROWAVE PROV.
OC	- OVERHEAD CUPBOARD
PT	- PANTRY
REF	- REFRIGERATOR SPACE
RA	- RANKHOOD
SH	- SHELF
TR	- TRAY
TRH	- TOILET ROLL HOLDER
UBO	- UNDER-BENCH OVEN
WC	- WALL OVEN

LEGEND - EXTERNAL	
BV	- BRICK VENEER
CJ	- CONTROL JOINT
FC	- FIBRE CEMENT SHEETINGS
FR	- FRAMING
BB	- RENDERED BLUEBOARD
RB	- RENDERED BLOCKWORK
SA	- SCYON AXON
SM	- SCYON MTRX
SP	- SCYON STRA
SS	- SCYON STRA CLADDING
WB	- HARDIES NEWPORT
CB	- COLOURBOND SHEETING

ISSUE	#	DATE	DETAILS	BY
A	1	22/07/21	PRELIM	PW

WRITTEN DIMENSIONS TO TAKE
PRECEDENCE OVER SCALE

ELEVATIONS - SKILLION FACADE

PROJECT DESCRIPTION
Proposed Dwelling For.

CLIENT
STOCKWELL

SITE ADDRESS
300, Oochilupe Circuit
Agnes Water, 4677

DESIGNED BY Designer
DRAWN BY Author
SCALE 1 : 100
JOB CODE C-SAW-00C

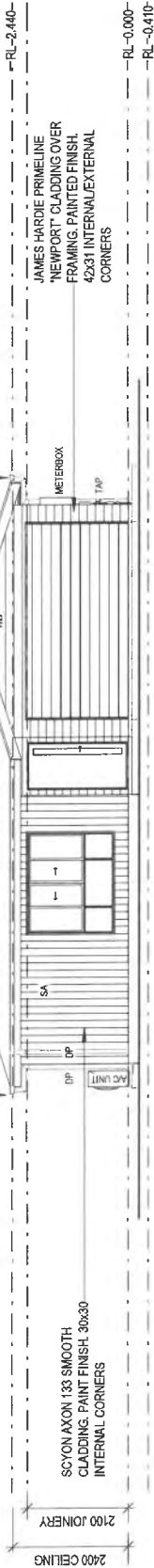
SHEET 5-SK OF 5

COCKATOO - SKILLION FACADE

NOTES: 1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

SELECT METAL ROOF SHEET ON
ENGINEER DESIGNED TRUSSES
- CUSTOM ORB PROFILE

SELECT METAL FASCIA AND
GUTTER, FC SHEET TO EAVES.



ELEVATION 1
1 : 100

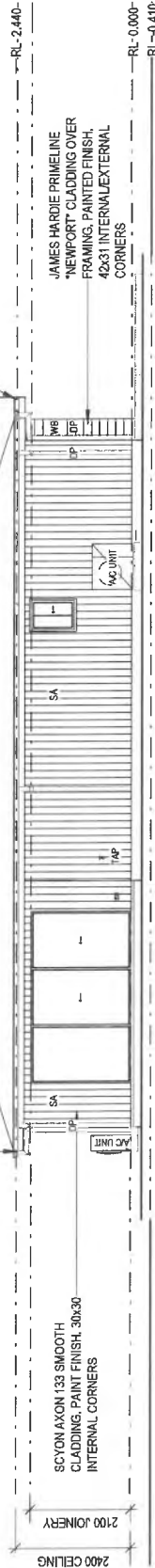
GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. *DA/26/2020*
Per *[Signature]* Date *26/11/21*
ASSESSMENT MANAGER

SELECT METAL ROOF SHEET ON
ENGINEER DESIGNED TRUSSES
- CUSTOM ORB PROFILE

SELECT METAL FASCIA AND
GUTTER, FC SHEET TO EAVES.



ELEVATION 2
1 : 100

LEGEND - INTERNAL

BC	- BRICK CLIPBOARD
CRD	- CLIPBOARD
DK	- DOWNPIPE
DM	- DOWNPIPE PROF.
FW	- FLOOR WASTE
HP	- HOT PLATE
HWS	- HOT WATER SYSTEM
L	- LINEN
M	- MIRROR
MM	- MICROWAVE PROV.
OMC	- OVERHEAD CLIPBOARD
PTY	- PANTRY
R	- RANGE
REF	- REFRIGERATOR SPACE
RH	- RANGE HOOD
SH	- SHELF
TR	- TOWEL RAIL
UBO	- UNDER BENCH OVER
WG	- WALL OVEN

LEGEND - EXTERNAL

BV	- BRICK VENEER
CJ	- CONTROL JOINT
FC	- FIBRE GEMENT SHEETING
FR	- RENDERED FIBRE PANELS
FRD	- FIBRE REINFORCED CONCRETE
RB	- RENDERED BRICKWORK
RBL	- RENDERED BLOCKWORK
SA	- SCYON AXON
SL	- SCYON LINER
SS	- SCYON STRIA CLADDING
WB	- HARDIE NEWPORT
CB	- COLORBOND SHEETING

ISSUE	#	DATE	DETAILS	BY
A	2/06/21	PRELIM		PW

WRITE DIMENSIONS TO TAKE
PRECEDENCE OVER SCALE

**ELEVATIONS -
GABLE FACADE**

PROJECT DESCRIPTION:
Proposed Dwelling For:

CLIENT:

STOCKWELL
SITE ADDRESS:
300, Occhilupo Circuit
Agnes Water, 4677

DESIGNED BY Designer
DRAWN BY Author

SCALE 1:100
JOB CODE C-SAW-00F

SHEET 4-GA OF 5

PANTAIL - GABLE FACADE

LEGEND - INTERNAL

BC - BROOM CURBOARD
 CD - DOWNPIPE
 DP - DOWNPIPE
 DW - DOWNPIPE
 FM - FLOOR WASTE
 HP - HOT PLATE
 HWS - HOT WATER SYSTEM
 LUM - LINEN CLOSET
 LUMHOLE - LINEN CLOSET
 MW - MICROWAVE PROV.
 OHC - OVERHEAD CURBOARD
 PTY - PANTRY
 REF - REFRIGERATOR SPACE
 RH - RANGE HOOD
 SH - SHELF
 TR - TOWEL RAIL
 U30 - UNDERBENCH URN
 U30 - UNDERBENCH URN
 WG - WALL OVEN

LEGEND - EXTERNAL

BV - BRICK VENEER
 CJ - CONTROL JOINT
 FC - FIBRE CEMENT SHEETING
 RH - RENDERED REBEL PANELS
 RB - RENDERED BLOCKWORK
 RBL - RENDERED BLOCKWORK
 SA - SCYON AXON
 SMC - SCYON METAL PANELING
 SS - SCYON STRIP CLADDING
 WB - HARDIE NEWPORT
 CG - COLORBOND SHEETING

ISSUE	#	DATE	DETAILS	BY
	A	24/02/21	PRELIM	PM

ELEVATIONS - GABLE FACADE

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

PROJECT DESCRIPTION
 Proposed Dwelling For.

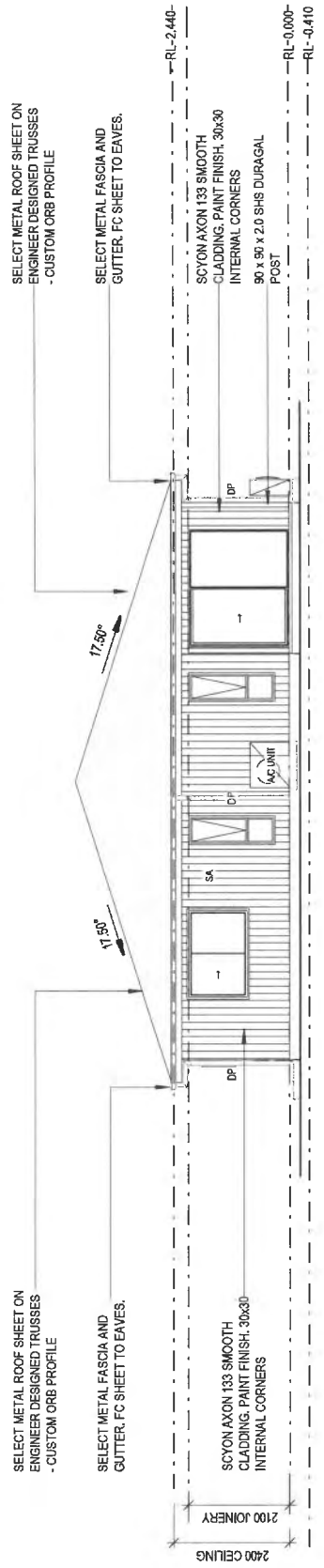
CLIENT

STOCKWELL

SITE ADDRESS
 300, Coochilupe Circuit
 Agnes Water, 4677

DESIGNED BY Designer
 DRAWN BY Author
 SCALE 1:100
 JOB CODE C-SAW-00F
 SHEET 5-GA OF 5

- NOTES:**
1. ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS.
 2. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.



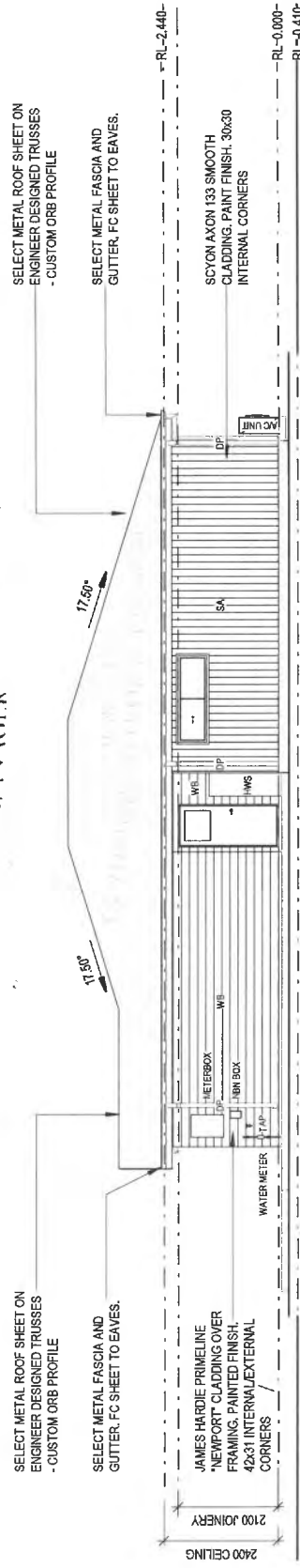
ELEVATION 3

1 : 100

GLADSTONE REGIONAL COUNCIL
 GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. DA/28/2020
 Per CLM Date 26/11/21
 ASSESSMENT MANAGER



ELEVATION 4

1 : 100

FANTAIL - GABLE FACADE

GENERAL NOTES:

1. ALL MATERIALS SHALL BE NEW.
2. FOOTINGS TO ENGINEER DETAILS.
3. ALL CONCRETE TO BE CAST TO ENGINEER DETAILS.
4. SLABS TO ENGINEER DETAILS.
5. UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND.
6. BECOMING AVAILABLE TO ALL BUILDERS SPECIFICATIONS TO BE USED AT 28 DAYS USE. TERMINATE CONTROL JOINTS AS PER BUILDERS SPECIFICATIONS.
7. PLUMBER AND DRAMER TO LOCAL AUTHORITY REGULATIONS.
8. LINKINGS AS PER BUILDERS SPECIFICATIONS.
9. ROOFING COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES TO BE USED AS PER LOCAL AUTHORITY REGULATIONS.
10. MANUFACTURERS SPECIFICATIONS.
11. PLUMBER AND DRAMER TO LOCAL AUTHORITY REGULATIONS.
12. BRICKLAYER GALVANISED WALL TIES LINE AND 1 ROW IN THE SECOND LAST ROW IN BETWEEN ON EACH STUD. PROVIDE WEEP HOLES @ 500mm ALONG FLASHING.
13. BRICK FLOORS AND SURFER FLOORS TO COMPLY WITH SECTION M1.
14. SPACING OF ARTICULATION JOINTS FOR MASONRY WALLS TO AS 3700 - 2001.
15. BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS TO BE CONSTRUCTED.
16. ALL DIMENSIONS TO TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

LEGEND - INTERNAL

- BC - BROOM/C/PROARD
- CB - CUPBOARD
- DM - DOWNWATER PROV.
- FW - FLOOR/WASTE
- HP - HOT PLATE
- HMS - HOT WATER SYSTEM
- LI - LINEN
- MA - MAKE UP
- MM - MIXER/WAVE PROV.
- OC - OVERHEAD CUPBOARD
- PT - PANTRY
- RE - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- US - TUB/SHOWER HOLDER
- US - TUB/SHOWER OPEN
- WG - WALL OPEN

LEGEND - EXTERNAL

- BV - BRICK VENEER
- CA - CONTROL JOINT
- FC - FERRE CEMENT SHEETING
- RH - RENDERED MIBEL PANELS
- RS - RENDERED BRICKWORK
- RL - RENDERED BLOCKWORK
- SA - SCOTON AVON
- SL - SCOTON LINER
- SS - SCOTON STRA CLADDING
- WB - WALLS NEWPORT
- CB - COLORBOND SHEETING

PROPERTY DESCRIPTION
LOT: 8034 ; SP 318118
LOCAL COUNCIL :
SSCRC
AREA : 10.724ha

ISSUE	DATE	DETAILS	BY
A	24/05/21	PRELIM	PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

SITE PLAN - GABLE FACADE

PROJECT DESCRIPTION
Proposed Dwelling For:

CLIENT:

STOCKWELL

SITE ADDRESS:
300, Coohillup Circuit
Agnes Water, 4577

DESIGNED BY: Designer
DRAWN BY: Author

SCALE: 1:100
JOB CODE: C-SAW-00F

SHEET 1-GA OF 5

GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached
Decision Notice No. **11 DA/28/2020**
Date **26/11/21**

ASSESSMENT MANAGER

PROPOSED DWELLING

PAD LEVEL RL -0.410 m

BOUNDARY - 13400
BOUNDARY - 13400
BOUNDARY - 18500
BOUNDARY - 18500
BOUNDARY - 13400
BOUNDARY - 13400

1800h FENCE TBC
1800h FENCE TBC
1800h FENCE TBC
1800h FENCE TBC

3450 WALL
3000 EAVE
450 OMP
900 WALL
4100
450 OMP
900 WALL
2550 OMP
3000 WALL

6020 WALL
450 OMP
900 WALL
450 OMP
900 WALL

CONCRETE DRIVEWAY
GATE
GATE
METERBOX TAP
BINS
CLOTHESLINE
HMS
DP AC UNIT
DP WARDROBE

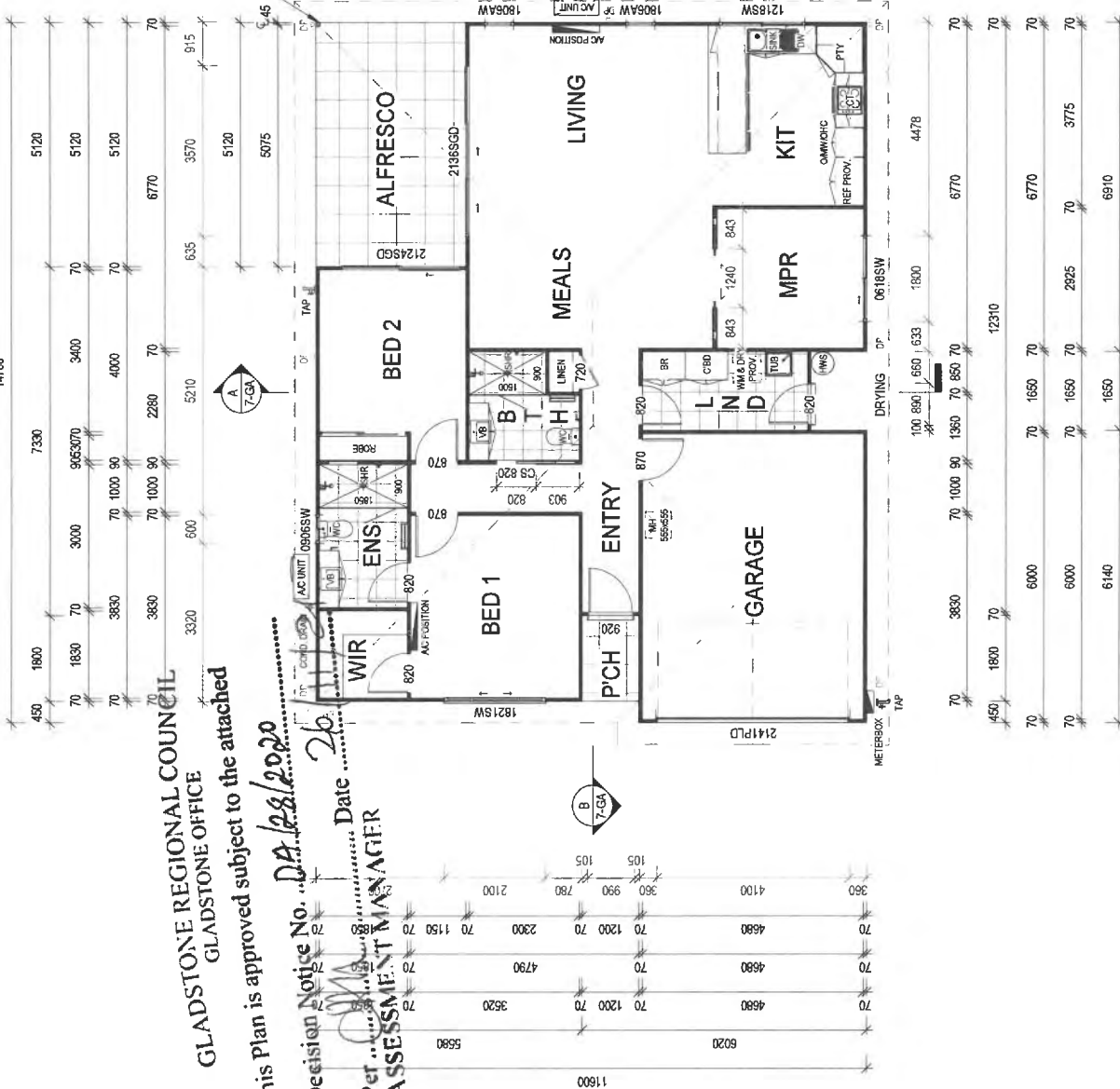
SITE PLAN - GABLE FACADE

1 : 100

- NOTES:**
1. PROVIDE LIFT OFF-HINGES TO W.C. DOORS
 2. SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH NCC. 3.7.2.
 3. REFER ELECTRICAL PLAN FOR PLACEMENT.
 4. FLOOR WASTE POSITIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED BY 14700

LOCAL AUTHORITY PLUMBING REGULATIONS AND THE BUILDING CODE OF AUSTRALIA. DESIGN IN ACCORDANCE WITH AS 3623. 6 STEEL FRAME WALLS AND TRUSSES IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.

DESIGN AND SPECIFICATION, DESIGN AND ENGINEERING TO BE PROVIDED TO CERTIFIER PRIOR TO INSTALL.



GLADSTONE REGIONAL COUNCIL
GLADSTONE OFFICE

This Plan is approved subject to the attached

Decision Notice No. **DA 128/2020** Date **26/01/2020**
Per **[Signature]** ASSESSMENT MANAGER

FLOOR AREAS

Living	117.69 m ²
Garage	29.59 m ²
Alfresco	16.08 m ²
Porch	2.16 m ²
Grand total	165.52 m²

ISSUE	DATE	DETAILS	BY
A	24.08.21	PRELIM	PW

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

FLOOR PLAN - GABLE FACADE

PROJECT DESCRIPTION:
Proposed Dwelling For

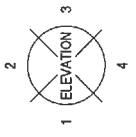
CLIENT:
STOCKWELL

SITE ADDRESS:
300, Cochlupo Circuit
Agnes Water, 4877

DESIGNED BY: Designer
DRAWN BY: Author
SCALE: 1:100
JOB CODE: C-SAW-00F

SHEET: 2-GA OF 5

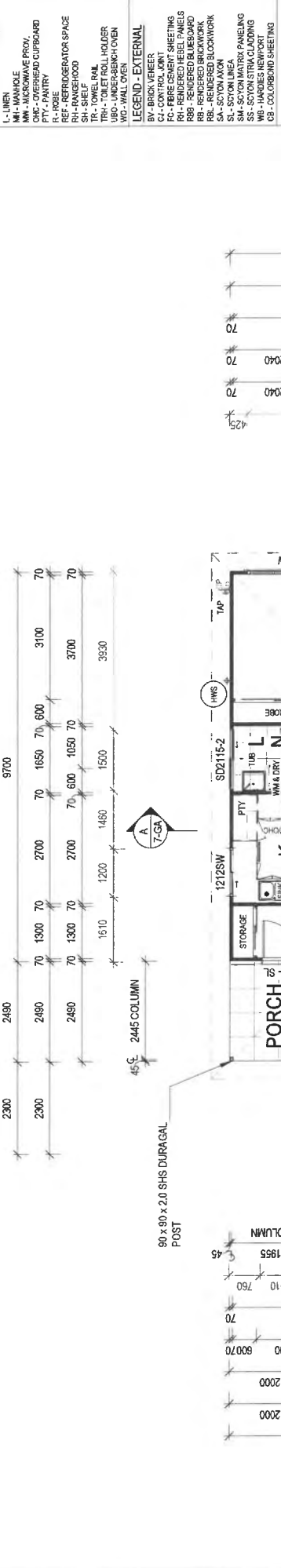
FANTAIL - GABLE FACADE



FLOOR PLAN - GABLE FACADE

1:100

NOTES : 1. PROVIDE LIFT OFF HINGES TO W.C. DOORS
 2. SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH NCC 3.7.2.
 3. REFER ELECTRICAL PLAN FOR PLACEMENT AND THE BUILDING CODE OF AUSTRALIA AND THE BUILDING CODE OF AUSTRALIA ENGINEERING TO BE PROVIDED TO CERTIFIER PRIOR TO INSTALL.
 4. FLOOR WASTE POSITIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED BY DOMESTIC METAL FRAMING CLASSIFICATION ACCORDANCE WITH MANUFACTURERS



ISSUE	DATE	DETAILS	BY
A	24/06/21	PRELIM DESIGN	PW
B	02/08/21	CHANGES	PW
C	03/08/21	CHANGES	PW

FLOOR AREAS	
Living	88.47 m ²
Garage	21.24 m ²
Alfresco	14.92 m ²
Porch	4.98 m ²
Grand total	129.61 m ²

FLOOR PLAN - GABLE FACADE
 WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

PROJECT DESCRIPTION
 Proposed Dwelling For:

CLIENT
STOCKWELL
 300, Occhipello Circuit
 Agnes Water, 4677

DESIGNED BY: Designer
 DRAWN BY: Author
 SCALE: 1:100
 JOB CODE: C-SAW 00K
 SHEET 2-GA OF 5